

GENERAL NOTES:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST PROVIDE SUBMITTALS OF PROPOSED CONSTRUCTION MATERIALS FOR REVIEW BY THE DESIGN ENGINEER A MINIMUM OF 14 DAYS PRIOR TO REQUIRED ACQUISITION.
- A PRE-CONSTRUCTION MEETING WILL BE HELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. TIME AND LOCATION TO BE DETERMINED BY OWNER.
- ALL TOPOGRAPHIC INFORMATION, AND SURVEY CONTROL WAS COMPLETED IN AUGUST 2025 BY KERR SURVEYING. CHANGES IN SITE OR FIELD CONDITIONS MAY HAVE OCCURRED. IF CHANGES HAVE OCCURRED, NOTIFY ENGINEER. THE CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTATION, BENCHMARKS, AND MARKERS DURING CONSTRUCTION.
- THE CONTRACTOR MUST PROVIDE CONSTRUCTION STAKING SERVICES BASED ON THE INFORMATION PROVIDED IN THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH FACILITY/PROPERTY OWNERS. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FACILITIES, PAVEMENT, ETC. AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL DAMAGES ARE TO BE RESTORED TO EXISTING CONDITIONS WITH SIMILAR MATERIALS.
- ALL ITEMS SHOWN ON THESE PLANS ARE ASSUMED NEW/PROPOSED UNLESS DESIGNATED OR SHOWN AS EXISTING AND SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR INCLUSIVE OF ANY MATERIALS, LABOR, EQUIPMENT, AND OTHER REQUIREMENTS FOR A COMPLETE AND FUNCTIONING SITE ELEMENT. ALL ITEMS NECESSARY FOR PROPER COMPLETION OF THE WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED ON THE PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND CONSIDERED SUBSIDIARY TO THE WORK.
- ALL UTILITIES AND SERVICE LINES SHOWN ARE TAKEN FROM RECORD INFORMATION SUPPLIED BY THE UTILITY OWNER OR HORIZONTALLY LOCATED BY INDEPENDENT LOCATORS. CONTRACTOR IS RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN PLAN AND ACTUAL CONDITIONS PRIOR TO CONSTRUCTION. OWNER, SURVEYOR, AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF INFORMATION OR DATA RELIED ON TO DEPICT UNDERGROUND FACILITIES. CONTRACTOR IS TO VERIFY THE EXACT LOCATION AND VERTICAL POSITIONING OF ALL PIPELINES, COMMUNICATION LINES, ELECTRICAL LINES, EXISTING UTILITIES, AND SERVICE LINES WITHIN THE PROJECT AREA, WHETHER SHOWN ON THE PLANS OR NOT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CONTRACTOR IS TO CONTACT OWNERS OF ALL UTILITIES AND SERVICE LINES WITHIN THE PROJECT AREA AND NOTIFY OF INTENT AT LEAST 1 WEEK PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO MAINTAIN STRUCTURAL INTEGRITY OF ALL PIPELINES, ELECTRIC TRANSMISSION POLES AND LINES, PERMANENT AND TEMPORARY UTILITIES, AND UTILITY SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES DURING THE CONSTRUCTION PROCESS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE UTILITY OR SERVICE LINE WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION, OR BETTER. ALL MATERIAL AND LABOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY TEXAS811 AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITY AT 811 OR HTTP://WWW.TEXAS811.ORG. TEXAS811 MAY NOT CONTACT ALL RELEVANT UTILITIES, SO THE CONTRACTOR SHALL ALSO NOTIFY APPLICABLE UTILITY COMPANIES THAT HAVE UTILITY LINES ON OR IN THE GENERAL VICINITY OF THIS PROJECT SITE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND REGULATIONS. WHERE CONSTRUCTION DOCUMENTS CONFLICT WITH THOSE GUIDELINES, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- UTILITIES WHO DO NOT PARTICIPATE IN TEXAS811 HAVE BEEN IDENTIFIED AS: CITY OF BRYAN.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ONSITE FIELD CONDITIONS OR SPECIFICATIONS OF OTHER DISCIPLINES. CONTRACTOR IS RESPONSIBLE TO REPORT ANY CONFLICTS WITHIN PLANS OR SPECIFICATIONS AND AWAIT WRITTEN INSTRUCTION FROM ENGINEER OR ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS, AS WELL AS INSPECTION APPROVALS.
- A COPY OF APPROVED CONSTRUCTION PLANS SHALL BE KEPT ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS TO RECORD AS-BUILT CONDITIONS. DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN AN ORDERLY PROJECT SITE. THE CONTRACTOR SHALL CLEAN, REMOVE, AND PROPERLY DISPOSE OF ANY SURPLUS OR DISCARDED MATERIALS, TEMPORARY STRUCTURES, AND DEBRIS FROM THE PROJECT SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND SAFE-GUARDING OF ALL MATERIALS AND EQUIPMENT AT THE PROJECT SITE TO MAINTAIN A SAFE AND SECURE PROJECT.
- THE CONTRACTOR SHALL COORDINATE SITE STORAGE WITH THE PROPERTY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE. THE SITE IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE PRIOR TO AND DURING DEMOLITION. SOLID WASTE ROLL OFF BOXES AND/OR METAL DUMPSTER SHALL BE SUPPLIED BY THE CONTRACTOR.
- CONTRACTOR IS TO CONFINE ALL WORK TO OWNER'S PROPERTY AND PREVIOUSLY APPROVED ADJACENT PROPERTIES AND/OR RIGHT-OF-WAY (R.O.W.). NO CONSTRUCTION ACTIVITY IS ALLOWED ON OR THROUGH PRIVATE PROPERTY UNLESS COVERED BY A PUBLIC UTILITY EASEMENT OR OTHER DOCUMENTED AGREEMENT. ANY ADJACENT R.O.W. OR PROPERTY AFFECTED DURING CONSTRUCTION SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING UTILITY APPURTENANCES (VALVE BOXES, FIRE HYDRANTS, MANHOLE RING AND COVER, JUNCTION BOX RING AND COVER, ETC.) SHALL BE ADJUSTED TO FINAL GRADES.
- ALL CONSTRUCTION OPERATIONS FOR THIS PROJECT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION ACTIVITIES INCLUDING REGULATIONS REGARDING CONSTRUCTION NEAR UTILITIES (I. E. OVERHEAD/UNDERGROUND ELECTRIC LINES, ETC.).
- THESE PLANS, PREPARED BY GESSNER ENGINEERING, DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR HIS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ALL JOB SITE SAFETY. FOR MANAGEMENT OF JOB SITE PERSONNEL, FOR SUPERVISION OF THE USE OF JOB SITE EQUIPMENT, AND FOR DIRECTION OF ALL CONSTRUCTION PROCEDURES, METHODS, AND ELEMENTS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

DEMOLITION NOTES:

- AREAS BENEATH REMOVED PAVEMENT SHALL BE CLEARED OF ALL LOOSE OR DISTURBED MATERIAL AND WATER.
- UNDER ALL IMPROVEMENTS, ALL ITEMS ARE TO BE REMOVED UNLESS OTHERWISE INDICATED. REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS BUT ALL UNDERGROUND ELEMENTS FOR UTILITIES UNLESS OTHERWISE INDICATED. DURING CLEARING AND GRUBBING ACTIVITIES WHERE TREES AND BRUSH ARE TO BE REMOVED, REMOVE THE TOTAL EXTENT OF THEIR ROOT SYSTEMS.
- UNLESS OTHERWISE DIRECTED BY THE OWNER, ALL MATERIALS AND DEBRIS DEMOLISHED AND/OR REMOVED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER. ON-SITE BURNING WILL NOT BE PERMITTED.
- ALL EXCESS CUT MATERIAL IS TO BE HAULED OFF AND DISPOSED OF OFF-SITE.
- CONTRACTOR SHALL PREVENT TRANSPORT OF SEDIMENT TO ADJACENT PROPERTIES AND PUBLIC OR PRIVATE RIGHT OF WAYS AND IS RESPONSIBLE FOR CLEANUP IF SUCH OCCURS. CONTRACTOR IS TO ENSURE NO CONSTRUCTION DEBRIS OR MUD IS TRACKED OR DISCARDED ON TO ANY PUBLIC OR PRIVATE STREETS OR LAND AND IS RESPONSIBLE FOR SITE CLEANUP AFTER EACH DAY'S WORK. CONTRACTOR IS TO MAKE USE OF BEST MANAGEMENT PRACTICES TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING EXISTING STORM SEWER OR DOWNSTREAM CHANNEL AREAS. CONTRACTOR SHALL MAINTAIN EROSION CONTROL THROUGHOUT CONSTRUCTION PERIOD AND UNTIL GRASS IS ESTABLISHED.
- CONTRACTOR IS TO PROTECT ALL EXISTING TREES INDICATED TO REMAIN DURING DEMOLITION AND CONSTRUCTION ACTIVITIES UNLESS OTHERWISE NOTED IN THE PLANS.

DIMENSION CONTROL NOTES:

- THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF PROJECT PLANS FOR CONSTRUCTION PURPOSES, WITH THE PERMISSION OF THE OWNER. THE ELECTRONIC FILE AND INFORMATION GENERATED BY GESSNER ENGINEERING'S FOR THIS PROJECT IS CONSIDERED BY GESSNER ENGINEERING TO BE CONFIDENTIAL. WHEN ISSUED, ITS USE IS INTENDED SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. THE MATERIAL IS INTENDED FOR USE BY THE RECIPIENT NAMED ONLY, AND PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THIS DOCUMENTS IN ANY FORM OR FASHION. THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED *AS IS* WITHOUT ANY WARRANTY AS TO ITS PERFORMANCE, ACCURACY, FREEDOM FROM ERROR, OR AS TO ANY RESULTS GENERATED THROUGHOUT ITS USE. THE RECIPIENT ALSO UNDERSTANDS AND AGREES THAT GESSNER ENGINEERING, UPON RELEASE OF SUCH DATA, IS NO LONGER RESPONSIBLE FOR THEIR USE OR MODIFICATION. THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.
- ALL DIMENSIONS SHOWN ARE TO BE USED IN CONJUNCTION WITH THE PLANS FOR LOCATING ALL IMPROVEMENTS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR FOR WORKABILITY PRIOR TO CONSTRUCTION OF THE IMPROVEMENTS.
- REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING DIMENSIONS.
- REFER TO STRUCTURAL PLANS FOR DETAILED FOUNDATION DIMENSIONS.

GRADING NOTES:

- ALL UNPAVED AREAS SHALL BE ADEQUATELY GRADED TO DRAIN AT A MINIMUM OF 2.0% SLOPE, UNLESS OTHERWISE NOTED, SO THAT NO PONDING OCCURS.
- WHEN TOP OF CURB ELEVATIONS ARE SHOWN, THE CURB IS A STANDARD 6" CURB, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FOLLOW THE GENERAL INTENT OF THE GRADING PLANS. MINOR ADJUSTMENTS TO THE ACTUAL ELEVATIONS SHOWN ON THE GRADING PLAN MAY BE REQUIRED TO MATCH EXISTING GROUND ELEVATIONS AND STRUCTURES. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO ANY MODIFICATIONS.
- ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.

- THE APPROVAL OF THE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNER(S). ANY ADJACENT PROPERTY OR RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO EXISTING CONDITIONS OR BETTER.
- REFERENCE GEOTECHNICAL REPORT: 817 NORTH EARL RUDDER FREEWAY BY GESSNER ENGINEERING, DATED JULY 28, 2025.
- FILL MATERIAL FOR NON-STRUCTURAL AREAS (5 FOOT OUTSIDE OF EDGE OF PAVEMENT, BACK OF CURB, OR OF IMPROVED AREAS) SHALL BE PLACED IN 8" MAXIMUM LOOSE LIFTS AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 92% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D698) WITH A MOISTURE CONTENT OF +/- 2% OF OPTIMUM.
- COMPACTION AND MOISTURE CONTROL SHALL BE VERIFIED BY IN-PLACE DENSITY TEST FOR EACH LIFT, 1 TEST PER 4,000 SF OF FILL PLACED, WITH A MINIMUM OF 1 TEST PER LIFT.
- PRIOR TO REVEGETATION OPERATIONS, CONTRACTOR TO SPREAD/REPLACE AND CONSOLIDATE TOPSOIL TO A DEPTH OF 6" MINIMUM.
- ALL DISRUPTED AREAS ARE TO HAVE ESTABLISHMENT OF GRASS AS OUTLINED PER THE LANDSCAPE PLAN.
- ALL DISTURBED AREAS NOT TO BE PAVED OR NOT INCLUDED IN THE LANDSCAPE SCOPE ARE TO BE PREPARED AND HYDROMULCHED OR SEEDED FOR PERMANENT ESTABLISHMENT OF VEGETATION. PRIOR TO OPERATIONS, CONTRACTOR IS TO REPLACE AND CONSOLIDATE TOPSOIL TO A DEPTH OF 6" MINIMUM. TOPSOIL TO BE HARLEY RAKED/FILLED TO A DEPTH OF 4" PRIOR TO SEEDING OR INSTALLATION OF SOD. FINAL GRADES WITH ESTABLISHED VEGETATION SHALL PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL ALL LANDSCAPE AREAS ARE ESTABLISHED FOR A MINIMUM OF 90 DAYS. CONTRACTOR IS RESPONSIBLE FOR CLEANUP FROM LANDSCAPING MATERIALS SUCH AS MULCH OR LANDSCAPE SEDIMENT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED T.C.E.Q CONSTRUCTION SITE PERMITTING AND PROVIDING DOCUMENTATION OF SUBMISSION TO THE AUTHORITY HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. WITHIN THE AREA OF CONSTRUCTION. THEY MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PAVEMENT AND GRADING.
- SIDEWALKS SHALL HAVE A SLOPE NO GREATER THAN 5% AND A CROSS SLOPE NOT GREATER THAN 2%, UNLESS OTHERWISE NOTED.
- HANDICAP ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS PER TAS REQUIREMENTS.
- CONTRACTOR SHALL CONTACT GESSNER ENGINEERING IF DISCREPANCIES EXIST AT EXISTING GRADE TIE-INS.
- EXISTING TOPSOIL TO BE STOCKPILED ON SITE AND REPLACED AFTER GRADING OPERATIONS ARE COMPLETE, AND HAULED OFF EXCESS.

PAVEMENT NOTES:

- SUBGRADE:
 - EXISTING VEGETATION, TREES, STUMPS, AND ROOTS SHALL BE GRUBBED AND REMOVED AND ALL TOPSOIL AND ORGANIC MATERIAL STRIPPED FROM THE AREAS TO BE COVERED BY PAVEMENT.
 - PAVING AREAS SHALL BE PROOF-ROLLED WITH A 20 TON COMPACTOR AND, IF REQUIRED AT THE TIME OF CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE WEAK AREAS BY OVER EXCAVATING AND BACKFILLING WITH SPECIFIED MATERIALS.
- FILL MATERIAL FOR AREAS UNDER PAVEMENT AND EXTENDING 2 FOOT BEYOND EDGE OF PAVEMENT OR BACK OF CURB, SHALL MEET THE MATERIALS AS OUTLINED IN THE GEOTECHNICAL REPORT: 817 NORTH EARL RUDDER FREEWAY, DATED JULY 28, 2025.
 - SPECIFIED MATERIALS SHALL BE PLACED IN 8" MAXIMUM LOOSE LIFTS, AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D698) WITH A MOISTURE CONTENT OF +/- 2% OF OPTIMUM.
 - COMPACTION AND MOISTURE CONTROL SHALL BE VERIFIED BY IN-PLACE DENSITY TEST FOR EACH LIFT FOR EVERY 200 LINEAR FEET OF PAVEMENT OR EVERY 4,000 SF OF FILL PLACED, WHICHEVER WOULD PRODUCE THE GREATER TESTING FREQUENCY, WITH A MINIMUM OF ONE TEST PER LIFT.
- CRUSHED LIMESTONE BASE:
 - CRUSHED LIMESTONE BASE SHALL CONFORM TO STANDARDS SPECIFIED IN TXDOT ITEM 247, 2004 SPECIFICATION, TYPE A/B AND GRADE 1.
 - CRUSHED LIMESTONE BASE SHALL BE COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557, METHOD C, WITH A MOISTURE CONTENT OF +/- 2% OF OPTIMUM.
 - COMPACTION AND MOISTURE CONTROL SHALL BE VERIFIED BY IN-PLACE DENSITY TEST FOR EVERY 4,000 SF OF CRUSHED LIMESTONE BASE MATERIAL WITH A MINIMUM OF THREE (3) TESTS BEING PERFORMED.
 - THE BASE SHALL BE BLADED SMOOTH, TO THE SATISFACTION OF THE ENGINEER, BEFORE PRIMING.
- CONCRETE PAVEMENT:
 - CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE NOTED.
 - ALL CONCRETE SHALL BE VIBRATED WHEN PLACED.
 - PAVEMENT CONTRACTION JOINTS SHALL BE INSTALLED PER PLAN AND DETAIL SHEET, WITH A MAXIMUM SPACING OF 24 TIMES THE THICKNESS OF THE PAVEMENT (E.G. 12' FOR 6" PAVEMENT). CONTRACTION JOINTS SHALL BE INSTALLED AS SOON AS CONCRETE CURING ALLOWS AND SHALL BE CUT 1/4 OF THE THICKNESS OF THE PAVEMENT. AN EARLY ENTRY SAW IS PREFERRED. TOOLED OR FORMED JOINTS ARE NOT ALLOWED.
 - PAVEMENT EXPANSION JOINTS SHALL BE SPACED AS SHOWN ON THE PLANS AND INSTALLED PER DETAIL SHEET. CONSTRUCTION SHALL BE STOPPED AT EXPANSION JOINTS. IF CONDITIONS REQUIRE, CONSTRUCTION TO BE STOPPED AT OTHER LOCATIONS, A COLD JOINT SHALL BE CONSTRUCTED.
 - ISOLATION JOINTS SHALL BE PLACED AT ALL IN-PAVEMENT OBJECTS INCLUDING INLETS, LIGHT POLE FOOTINGS, CLEANOUTS, ETC.
 - ALL JOINTS SHALL BE SEALED, PROVIDE EXPANSION JOINT WATER STOP CAPS AT NEW CONCRETE. PROVIDE EXPANSION JOINT SEALANT AT NEW TO EXISTING PAVEMENT.
 - REFERENCE DETAIL SHEET FOR PAVEMENT AND SIDEWALK CONSTRUCTION DETAILS.
 - TRANSPORTATION AND PLACEMENT OF THE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 301. A TEST SET CONSISTING OF 4 CYLINDERS SHALL BE TAKEN FOR EVERY 75 CUBIC YARDS OF CONCRETE.
- REINFORCING STEEL:
 - ALL REINFORCEMENT SHALL BE ASTM A-615, GRADE 60. THE PAVEMENT REINFORCEMENT SHALL BE PER DETAILS.
 - LAPS AND SPLICES IN REINFORCING BARS SHALL BE A MINIMUM OF 30 BAR DIAMETERS IN LENGTH. BARS SHALL BE SECURED AT EVERY OTHER INTERSECTION.
- CURB AND GUTTER SECTION:
 - EXPANSION JOINTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 40' AND AT ALL RADIUS POINTS, PT'S AND PC'S AND SHALL BE SEALED.
 - CONTRACTION JOINTS SHALL BE SPACED AT A MAXIMUM OF 10' AND SHALL BE SEALED. TOOLED OR FORMED JOINTS ARE NOT ALLOWED.
- PAINTING AND STRIPING:
 - CONTRACTOR SHALL PAINT STRIPING FOR THE PARKING AREA AS INDICATED ON THE PLAN. THE SOLID LINE REPRESENTS A 4" WIDE SOLID WHITE LINE TO BE PAINTED. CONTRACTOR IS RESPONSIBLE TO PAINT HANDICAP MARKINGS AND LOADING ZONES IN CONFORMANCE WITH CURRENT ADA/TAS STANDARDS AND ALL FIRE LANE MARKINGS IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION REQUIREMENTS.
 - MATERIAL AND METHODS FOR PAVEMENT MARKINGS SHALL CONFORM TO TXDOT ITEM 666 TYPE 2 AND DMS-8200 OF THE TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES.

GENERAL UTILITY NOTES:

- THE CONTRACTOR SHALL NOTIFY TEXAS 811 AND THE APPROPRIATE UTILITY COMPANY 48 HOURS PRIOR TO EXCAVATION, AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION ACTIVITIES NEAR ALL ENERGIZED ELECTRIC LINES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL FRANCHISE & PRIVATE UTILITIES WITH EARTHWORK & PAVEMENT CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FURNISHING & INSTALLING ANY NECESSARY UTILITY CONDUIT PRIOR TO SUBGRADE PREPARATION & PAVING OPERATION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DETERMINATION OF UTILITY INSTALLATION ORDER.
- ALL PIPES AND APPURTENANCES SHALL BE KEPT FREE OF DIRT AND OTHER DEBRIS. STORE ALL MATERIALS PER MANUFACTURERS RECOMMENDATIONS. ANY DAMAGED MATERIALS SHALL BE REMOVED FROM THE SITE AND REPLACED.
- TRENCH BACKFILL FOR ALL UTILITIES SHALL MEET THE DETAILS, SPECIFIED MATERIALS, AND BE FREE OF DEBRIS, TRASH, VEGETATION, AND ROCKS LARGER THAN 2" IN DIAMETER OR MATERIAL AS OUTLINED IN THE GEOTECHNICAL REPORT. FOR UNDER AREAS TO BE PAVED & WITHIN 5' OF EDGE OF PAVING, THE BACKFILL SHALL BE PLACED IN 8" MAXIMUM LOOSE LIFTS AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR(D698) OR BE CEMENT STABILIZED SAND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D558 WITH A MOISTURE CONTENT OF +/- 2% OF OPTIMUM. ALL OTHER AREAS SHALL BE COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR(D698).
- COMPACTION AND MOISTURE CONTROL SHALL BE VERIFIED BY IN-PLACE DENSITY TEST FOR EACH LIFT FOR EVERY 100 LINEAR FEET OF TRENCH PLACED, WITH A MINIMUM OF ONE TEST PER LIFT.

SANITARY SEWER NOTES:

- ALL SANITARY SEWER LINES TO BE POLYVINYL CHLORIDE (PVC), ASTM D3034, SDR 26, TYPE PSM SEWER PIPE WITH BELL AND SPIGOT END FOR RUBBER GASKETED JOINTS MEETING ASTM F477/SDR-26 PVC UNLESS OTHERWISE NOTED ON THE PLANS.
- SANITARY SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT TCEQ REGULATIONS, CHAPTER

- LOCAL JURISDICTIONAL REGULATIONS, AND IN ACCORDANCE WITH THE 2024 INTERNATIONAL PLUMBING CODE.
- ALL SECTIONS OF THE SANITARY COLLECTION SYSTEM SHALL BE INSTALLED NO CLOSER THAN NINE FEET IN ALL DIRECTIONS TO THE POTABLE WATER DISTRIBUTION FACILITIES. ALL SEPARATION DISTANCES SHALL BE MEASURED FROM THE OUTSIDE SURFACE OF EACH OF THE RESPECTIVE PIECES. IF NINE FEET OF SEPARATION CANNOT BE MET, FOLLOW CURRENT TCEQ CHAPTER 217.53 (D) AND 290.44(E) REGULATIONS. IF CONFLICTS OCCUR, CONTACT ENGINEER.
- ALL SANITARY SEWER LINES SHALL BE THOROUGHLY CLEANED, TESTED, AND APPROVED PRIOR TO ANY CONNECTIONS BEING MADE TO THE EXISTING SANITARY SEWER SYSTEM.
- ALL SANITARY SEWER LINE AND MANHOLE TESTING SHALL BE IN ACCORDANCE WITH CURRENT TCEQ REGULATIONS AND SPECIFICATIONS. A LOW PRESSURE AIR TEST OR AN INFILTRATION/EXFILTRATION TEST SHALL BE COMPLETED IN ACCORDANCE WITH 217.57 (A). DEFLECTION TESTING BY MANDREL SHALL BE COMPLETED ON ALL FLEXIBLE PIPES. MANDREL SIZING AND TESTING PROCEDURES SHALL BE IN ACCORDANCE WITH 217.57 (B). A VACUUM TEST SHALL BE PERFORMED ON ALL MANHOLES IN ACCORDANCE WITH 217.58 (B)(2).
- ALL ASPECTS OF THE SEWER LINE, INCLUDING PIPE JOINTS AND MANHOLES, SHALL HAVE A DESIGN LIFE CYCLE OF NO LESS THAN FIFTY YEARS. IF A PIPE OR AN INTEGRAL STRUCTURAL COMPONENT OF A PIPE WILL DETERIORATE WHEN SUBJECTED TO CORROSIVE INTERNAL CONDITIONS OR IF A PIPE OR COMPONENT DOES NOT HAVE A CORROSIVE RESISTANT LINER INSTALLED BY THE MANUFACTURER, THE CONTRACTOR MUST DEMONSTRATE THE STRUCTURAL INTEGRITY OF THE PIPE DURING THE MINIMUM 50-YEAR DESIGN LIFE CYCLE.
- CLEAN-OUT INSTALLATIONS MUST PASS ALL APPLICABLE TESTING REQUIREMENTS OUTLINED FOR GRAVITY COLLECTION PIPES IN 217.57 (RELATING TO TESTING REQUIREMENTS FOR INSTALLATION OF GRAVITY COLLECTION SYSTEM PIPES).
- A MANHOLE MUST BE MADE OF MONOLITHIC, CAST-IN-PLACE CONCRETE, FIBERGLASS, PRE-CAST CONCRETE MEETING ASTM C478, HIGH-DENSITY POLYETHYLENE, OR EQUIVALENT MATERIAL THAT PROVIDES ADEQUATE STRUCTURAL INTEGRITY. THE USE OF BRICKS TO ADJUST A MANHOLE COVER TO GRADE OR CONSTRUCT A MANHOLE IS PROHIBITED.
- THE INSIDE DIAMETER OF A MANHOLE MUST BE NO LESS THAN 48 INCHES.
- THE BOTTOM OF A MANHOLE MUST CONTAIN A U-SHAPED CHANNEL THAT IS A SMOOTH CONTINUATION OF THE INLET AND OUTLET PIPES.
- A MANHOLE CONNECTION MUST USE WATERTIGHT, SIZE-ON-SIZE RESILIENT CONNECTORS THAT ALLOW FOR DIFFERENTIAL SETTLEMENT AND MUST CONFORM TO ASTM C923.

WATER NOTES:

- ALL WATER LINES TO BE POLYVINYL CHLORIDE (PVC), AWWA C-900, DR 14.
- POTABLE WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT TCEQ REGULATIONS, CHAPTER 290, LOCAL JURISDICTIONAL REGULATIONS, AND IN ACCORDANCE WITH THE 2024 INTERNATIONAL PLUMBING CODE.
- SEPARATION OF PUBLIC WATER AND WASTEWATER MAINS SHALL BE CONSISTENT WITH THE CURRENT RULES & REGULATIONS FOR PUBLIC WATER SYSTEMS OF THE TCEQ.
- WATER SERVICE LINES SHALL MAINTAIN A MINIMUM COVER OF THREE (3) FEET AND A MAXIMUM COVER OF FIVE (5) FEET UNLESS OTHERWISE SPECIFIED ON PLANS AND/OR REQUIRED FOR UTILITY CROSSINGS.
- ALL NEWLY INSTALLED PIPES AND RELATED PRODUCTS MUST CONFORM TO AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION (ANSI/NSF) STANDARD 61 AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED BY ANSI.
- ALL PLASTIC PIPE FOR USE IN PUBLIC WATER SYSTEMS MUST ALSO BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL (NSF-PW) AND HAVE AN ASTM DESIGN PRESSURE RATING OF AT LEAST 150 PSI OR A STANDARD DIMENSION RATIO OF 26 OR LESS.
- ONLY NEW PIPE MATERIAL IS ALLOWED IN ANY PUBLIC DRINKING WATER SUPPLY.
- LEAD BAN SHALL BE FOLLOWED PER CURRENT TCEQ 290.44 (B) REGULATIONS.
- POTABLE WATER DISTRIBUTION LINES AND WASTEWATER MAINS OR LATERALS THAT FORM PARALLEL UTILITY LINES SHALL BE INSTALLED IN SEPARATE TRENCHES.
- NO PHYSICAL CONNECTION SHALL BE MADE BETWEEN A DRINKING WATER SUPPLY AND A SEWER LINE. ANY APPURTENANCES SHALL BE DESIGNED AND CONSTRUCTED SO AS TO PREVENT ANY POSSIBILITY OF SEWAGE ENTERING THE DRINKING WATER SYSTEM.
- ALL SECTIONS OF THE POTABLE WATER DISTRIBUTION SYSTEM SHALL BE INSTALLED NO CLOSER THAN NINE FEET IN ALL DIRECTIONS TO THE SANITARY SEWER COLLECTION FACILITIES. ALL SEPARATION DISTANCES SHALL BE MEASURED FROM THE OUTSIDE SURFACE OF EACH OF THE RESPECTIVE PIECES. IF THE NINE FOOT SEPARATION CAN NOT BE MET, FOLLOW CURRENT TCEQ CHAPTER 217.53 (D) AND 290.44 (E) REGULATIONS. IF CONFLICTS OCCUR, CONTACT ENGINEER.
- WATER LINES SHALL NOT BE INSTALLED CLOSER THAN TEN FEET TO A SEPTIC TANK OR DRAIN FIELD.
- FIRE HYDRANTS SHALL NOT BE INSTALLED WITHIN NINE FEET VERTICALLY OR HORIZONTALLY OF ANY WASTEWATER MAIN, LATERAL, OR SERVICE.
- AFTER THE PIPE HAS BEEN LAID AND BACKFILLED, BUT PRIOR TO THE REPLACEMENT OF PAVEMENT, EACH VALVED SECTION OF NEWLY LAID PIPE SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE TEST. TESTING PROCEDURES SHALL BE PER SPECIFICATION OR LOCAL JURISDICTION REQUIREMENTS WITH A MINIMUM PRESSURE OF 150 PSI, WHICHEVER IS MORE STRINGENT. ADJUSTMENT SHALL BE MADE FOR DIFFERENTIAL IN ELEVATION BETWEEN THE LOW POINT OF THE SECTION BEING TESTED AND THE CENTERLINE OF THE PRESSURE TEST GAUGE.
- EACH VALVED SECTION OF PIPE SHALL BE SLOWLY FILLED WITH WATER TO THE SPECIFIED TEST PRESSURE. MEASURED TO THE POINT OF LOWEST ELEVATION. WATER SHALL BE SUPPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A SATISFACTORY AND SANITARY MANNER. PRESSURE SHALL BE HELD FOR A MINIMUM OF 2 HOURS WITHOUT PRESSURE LOSS OR PER LOCAL JURISDICTION, THE PUMP, PIPE CONNECTION, AND ALL NECESSARY APPARATUS, INCLUDING GAUGES AND METERS SHALL BE FURNISHED BY THE CONTRACTOR.
- NO PIPE INSTALLATION WILL BE ACCEPTED UNTIL THE LEAKAGE OR PRESSURE LOSS IS LESS THAN REQUIRED.
- THE WATER LINES SHALL BE FLUSHED AND THOROUGHLY STERILIZED. STERILIZATION SHALL FOLLOW THE PROCEDURES AS OUTLINED IN CURRENT AWWA C651, OR PER LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT. A MINIMUM OF ONE SAMPLE FOR MICROBIAL TESTING SHALL BE COMPLETED PER 1,000 FEET OF COMPLETE WATERLINE.

DRAINAGE AREA MAP NOTES:

- THIS SHEET IS FOR SITE PLANNING PURPOSES ONLY. IT IS NOT TO BE USED AS A DOCUMENT FOR CONSTRUCTION.
 - REFERENCE DRAINAGE AND DETENTION REPORT: PENNER PLACE OFFICE PARK BY JONES & CARTER, DATED APRIL 27, 2009.
- IT IS ASSUMED THAT THE PENNER PLACE OFFICE PARK DRAINAGE REPORT IS STILL VALID AND THAT THE REGIONAL DETENTION POND IS ABLE TO ACCEPT THE ADDITIONAL STORM FLOW FROM THE PROPOSED CONDITIONS.



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TBPE F-7451, TBPLS #-10193910



FOR PERMIT

ROYCE PROPERTIES, LLC
817 N EARL RUDDER FWY
BRYAN TX, 77802

CIVIL NOTES

ISSUE DATE: 03/20/2026
DRAWN BY: PG
CHECKED BY: CS
PROJECT #: 25-0568

REVISIONS

REV	DATE	DESCRIPTION

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VICINITY MAP
NTS

OWNER: ROYCE PROPERTIES, LLC

ADDRESS:
817 N EARL RUDDER FWY
BRYAN, TEXAS 77802

ZONING:
OFFICE DISTRICT (C-1)
ESTABLISHED THROUGH ORD. #2586

PLANNED USE:
OFFICE BUILDINGS

LEGAL DESCRIPTION:
PENNER PLACE, BLOCK 5, LOT 5,
ACRES 0.78 (NOW PARKWAY COMMONS)
PENNER PLACE, BLOCK 5, LOT 6, ACRES 0.59
(NOW PARKWAY COMMONS)

TOTAL SITE ACREAGE:
2.260 ACRES

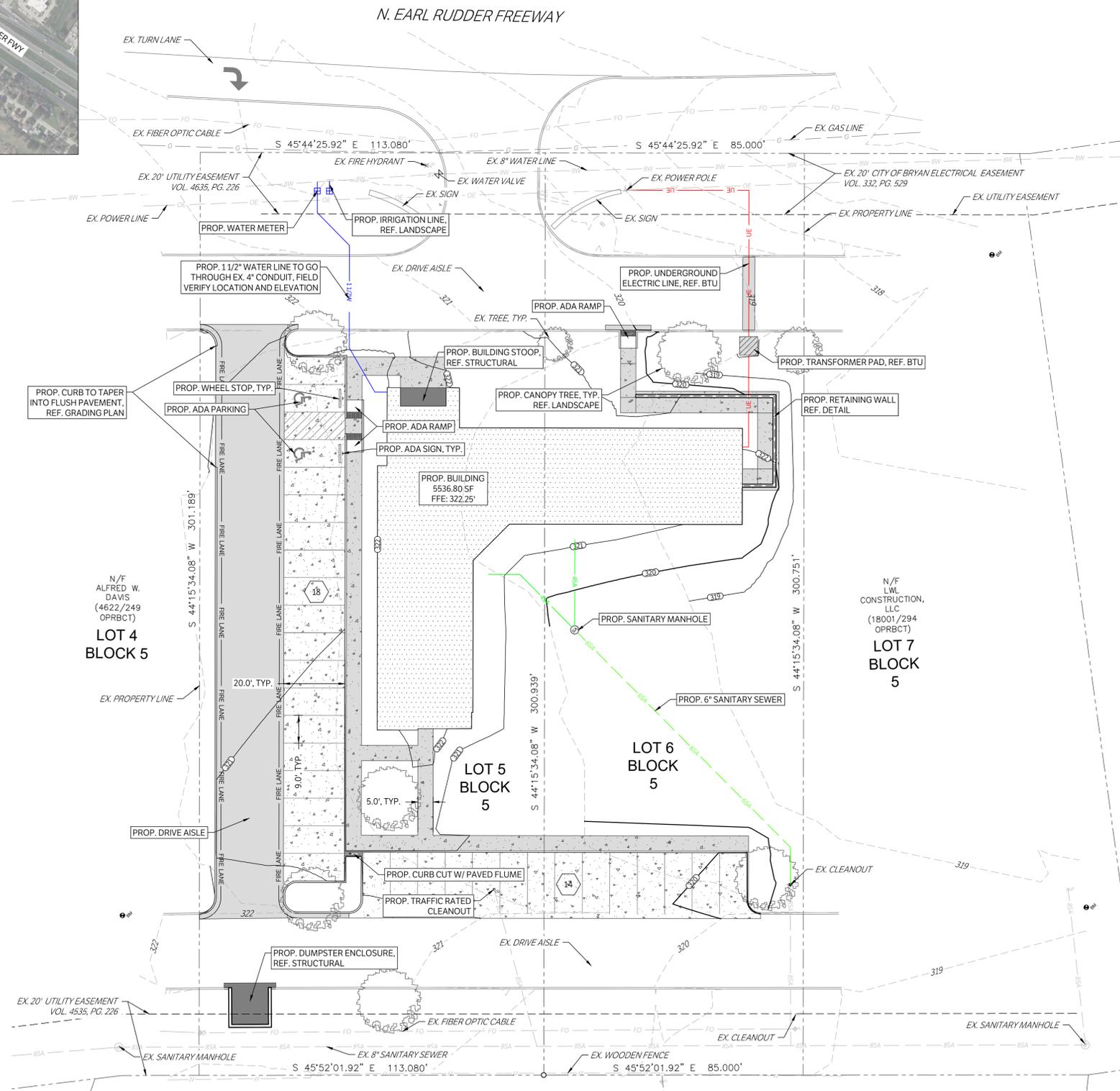
PROPOSED BUILDING HEIGHT:
25' - 10"

DUMPSTER ENCLOSURE B/C/S CITY NOTES

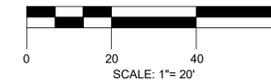
- Before enclosure construction/modification begins contact Solid Waste, at (979)209-5900 for an on-site review.
- If any changes are made to the enclosure plan during the construction phase please contact Solid Waste to review modifications.
- Dumpster containment areas shall use 8" concrete, reinforced with #5 bars at 12" OCEW and the pad shall extend an additional 10' in front of the containment area.
- The dumpster containment area shall be surrounded on three sides with a screen constructed to a height of six feet.
- An all-weather access route (i.e. parking lots, loading docks, private roads, alleys, etc.) capable of supporting the container and the collection truck must be constructed and will be maintained and repaired at the business owner's expense.
- The pad, screening and doors will be constructed and maintained at the property owner's expense.

NOTES:

1. ALL MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF BRYAN CODE OF ORDINANCES.
2. WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELOCATE, CONSTRUCT, RECONSTRUCT, ADD TO, MAINTAIN, INSPECT, PATROL, ENLARGE, REPAIR, REMOVE, AND REPLACE SAID FACILITIES UPON, OVER, UNDER, AND ACROSS THE PROPERTY INCLUDED IN THE PUE, AND THE RIGHT OF INGRESS AND EGRESS ON PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRIC FACILITIES
3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION
4. PER FEMA FIRM NUMBER 48041C0215F DATED APRIL 2, 2014, THE SUBJECT SITE IS CLASSIFIED AS ZONE X AND IS LOCATED OUTSIDE THE 100-YR AND 500-YR FLOODPLAIN.
5. ALL SIGNAGE IS TO BE PERMITTED SEPARATELY.



CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK: ● BM

TBM #1
"X" IN SQUARE SET IN BACK OF CURB
NORTHING = 10229744.95'
EASTING = 3552395.35'
ELEVATION = 326.82'

TBM #2
"X" IN SQUARE SET IN BACK OF CURB
NORTHING = 10229526.59'
EASTING = 3552623.37'
ELEVATION = 319.13'

TBM #3
"X" IN SQUARE SET IN BACK OF CURB
NORTHING = 10229700.87'
EASTING = 3552750.07'
ELEVATION = 317.37'

LEGEND	
	PROPOSED 4" CONCRETE PAVEMENT
	PROPOSED 7" CONCRETE PAVEMENT
	PROPOSED 5" CONCRETE PAVEMENT
	PROPOSED BUILDING
	PROP. STRUCTURAL PAVEMENT, REF. STRUCTURAL
	PROP. TRANSFORMER PAD, REF. BTU
	EXISTING PAVEMENT EDGE
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EX. PROP. WATER LINE
	EX. PROP. SANITARY SEWER LINE
	EX. PROP. GAS LINE
	EX. PROP. DATA/TELECOM
	EX. PROP. UNDERGROUND ELECTRIC
	EX. PROP. FIBER OPTIC
	EX. PROP. OVERHEAD ELECTRIC
	EX. PROP. FIRE HYDRANT
	EX. PROP. WATER METER
	EX. PROP. GATE VALVE
	EX. IRRIGATION CONTROL VALVE
	FIRE LANE
	EX. PROP. SANITARY SEWER MANHOLE
	EX. PROP. SANITARY SEWER CLEANOUT
	EX. PROP. LIGHT POLE
	PAE
	PUE

REQUIRED PARKING:
1 SPACE / 300 SQ. FT OFFICE SPACE

OFFICE SPACE = 5,537 SQ. FT
REQUIRED SPACES = 18.46 - 19 SPACES
PROVIDED SPACES = 32 SPACES



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817 N EARL RUDDER FWY
BRYAN TX, 77802

CIVIL SITE PLAN

ISSUE DATE: 03/20/2026
DRAWN BY: PG
CHECKED BY: CS
PROJECT #: 25-0568

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REV.	DATE DESCRIPTION

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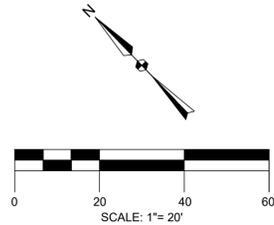
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FIRE SITE PLAN

ISSUE DATE: 03/20/2026
DRAWN BY: PG
CHECKED BY: CS
PROJECT #: 25-0568

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PROJECT BENCHMARK: ● BM

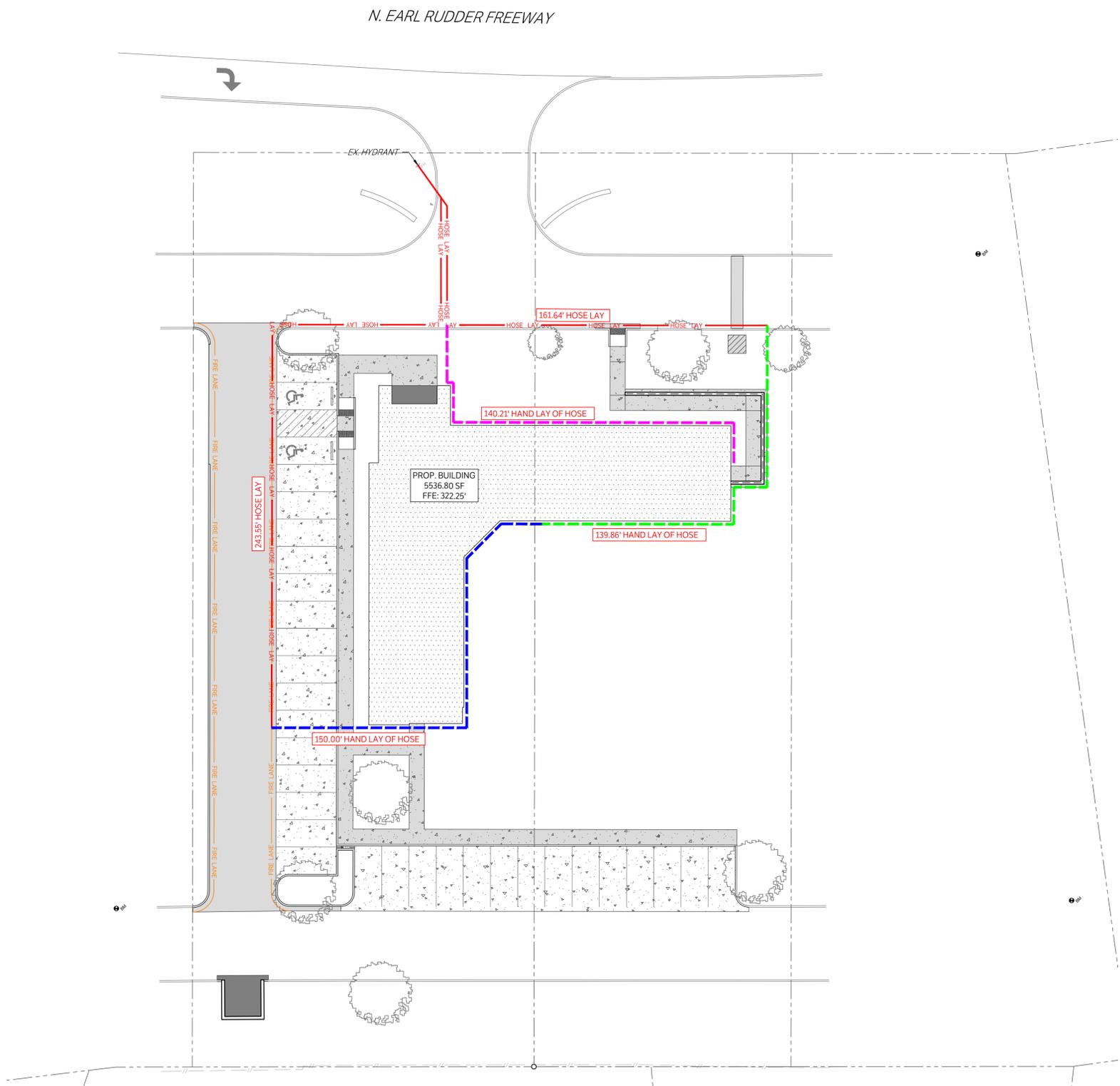
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"X" IN SQUARE SET IN BACK OF CURB
NORTHING = 10229700.87'
EASTING = 3552750.07'
ELEVATION = 317.37'

LEGEND

- FIRE LANE WITH RED STRIPES CONTAINING THE WORDING "FIRE LANE - NO PARKING -TOW AWAY", PAINTED IN 4" WHITE LETTERS
- PROPOSED BUILDING
- HOSE LAY PATH
- HAND LAY OF HOSE



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CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.

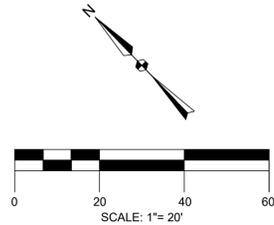
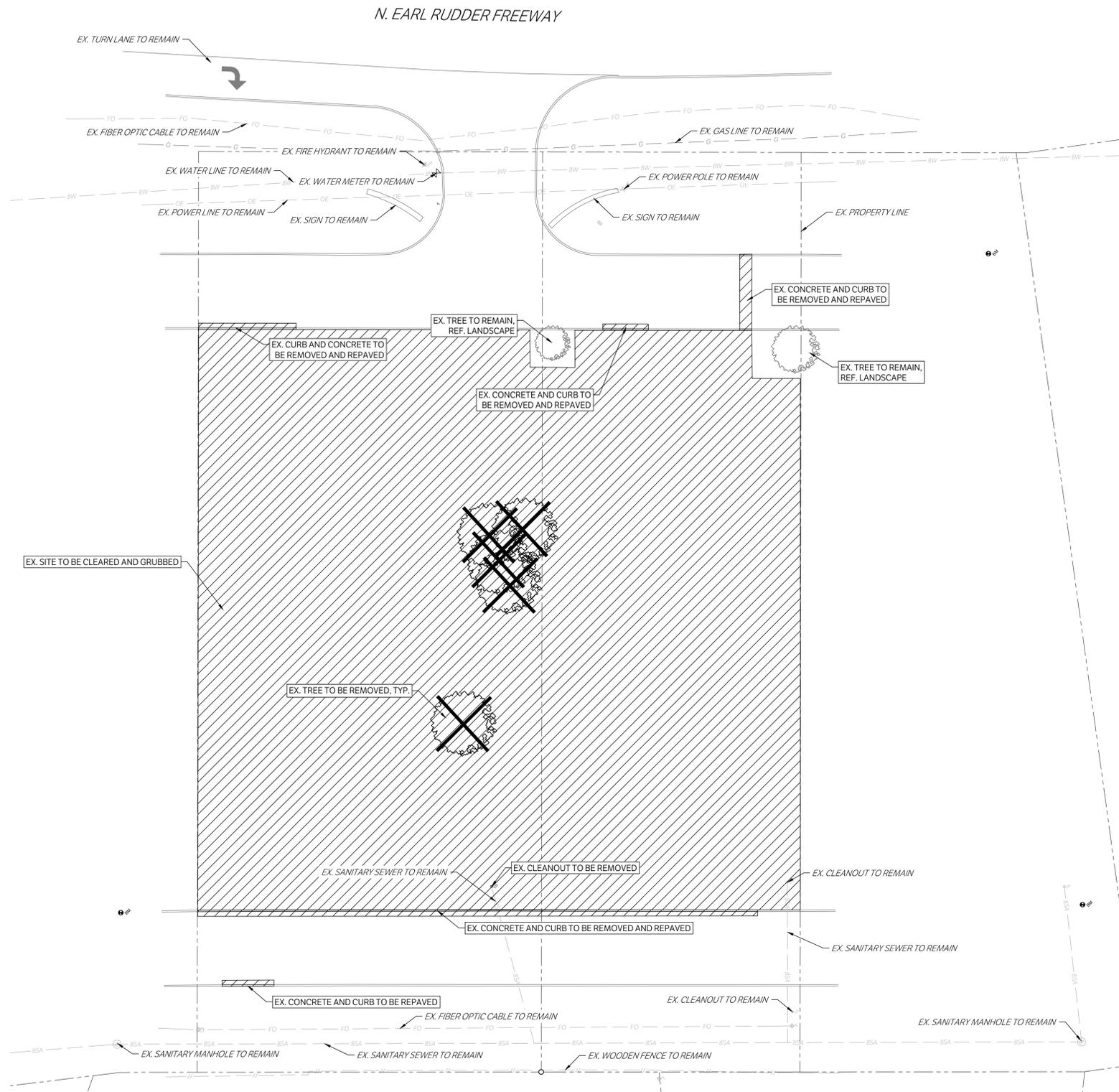


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LEGEND

-  EX. TREE TO BE REMOVED
-  EX. TREE TO REMAIN
-  DEMOLITION AREA

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817 N EARL RUDDER FWY
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DEMOLITION PLAN

ISSUE DATE: 03/20/2026
DRAWN BY: PG
CHECKED BY: CS
PROJECT #: 25-0568

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REV.	DATE	DESCRIPTION

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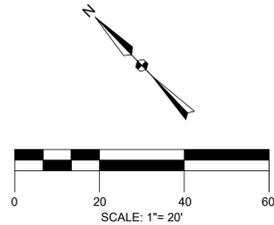
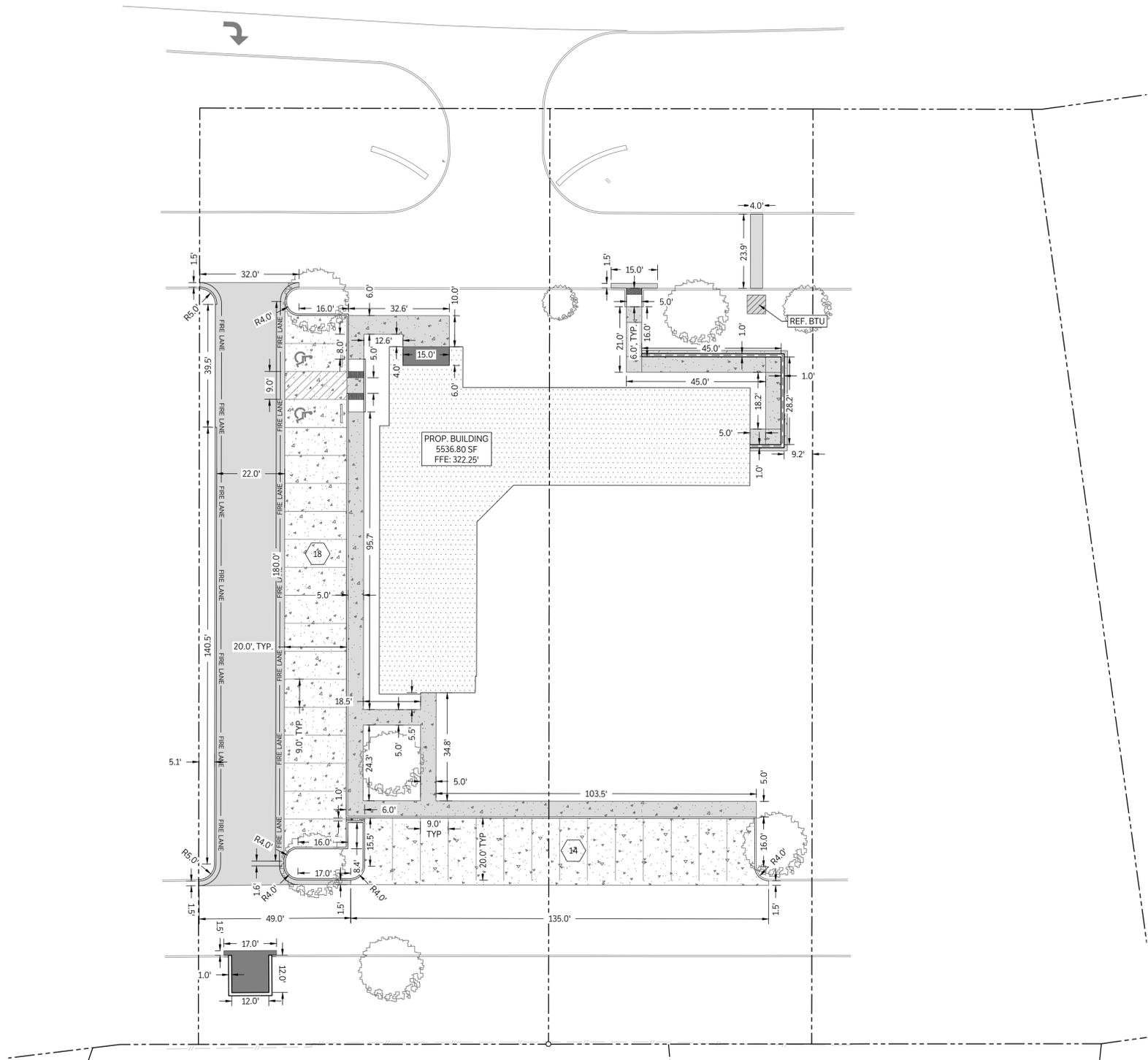
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N. EARL RUDDER FREEWAY



PROJECT BENCHMARK: ● BM
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LEGEND	
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	PROPOSED 7" CONCRETE PAVEMENT
	PROPOSED 5" CONCRETE PAVEMENT
	PROPOSED BUILDING
	PROP. STRUCTURAL PAVEMENT, REF. STRUCTURAL
	PROP. TRANSFORMER PAD, REF. BTU
	EXISTING PAVEMENT EDGE
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EX. PROP. WATER LINE
	EX. PROP. SANITARY SEWER LINE
	EX. PROP. GAS LINE
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	EX. PROP. GATE VALVE
	EX. PROP. IRRIGATION CONTROL VALVE
	PROP. FIRE LANE
	EX. PROP. SANITARY SEWER MANHOLE
	EX. PROP. SANITARY SEWER CLEANOUT
	EX. PROP. LIGHT POLE
	PROPOSED PUBLIC ACCESS EASEMENT
	PROPOSED UTILITY EASEMENT

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BRYAN TX, 77802

DIMENSION PLAN
ISSUE DATE: 03/20/2026
DRAWN BY: PG
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PROJECT #: 25-0568

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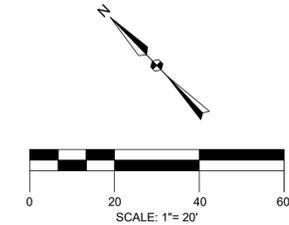
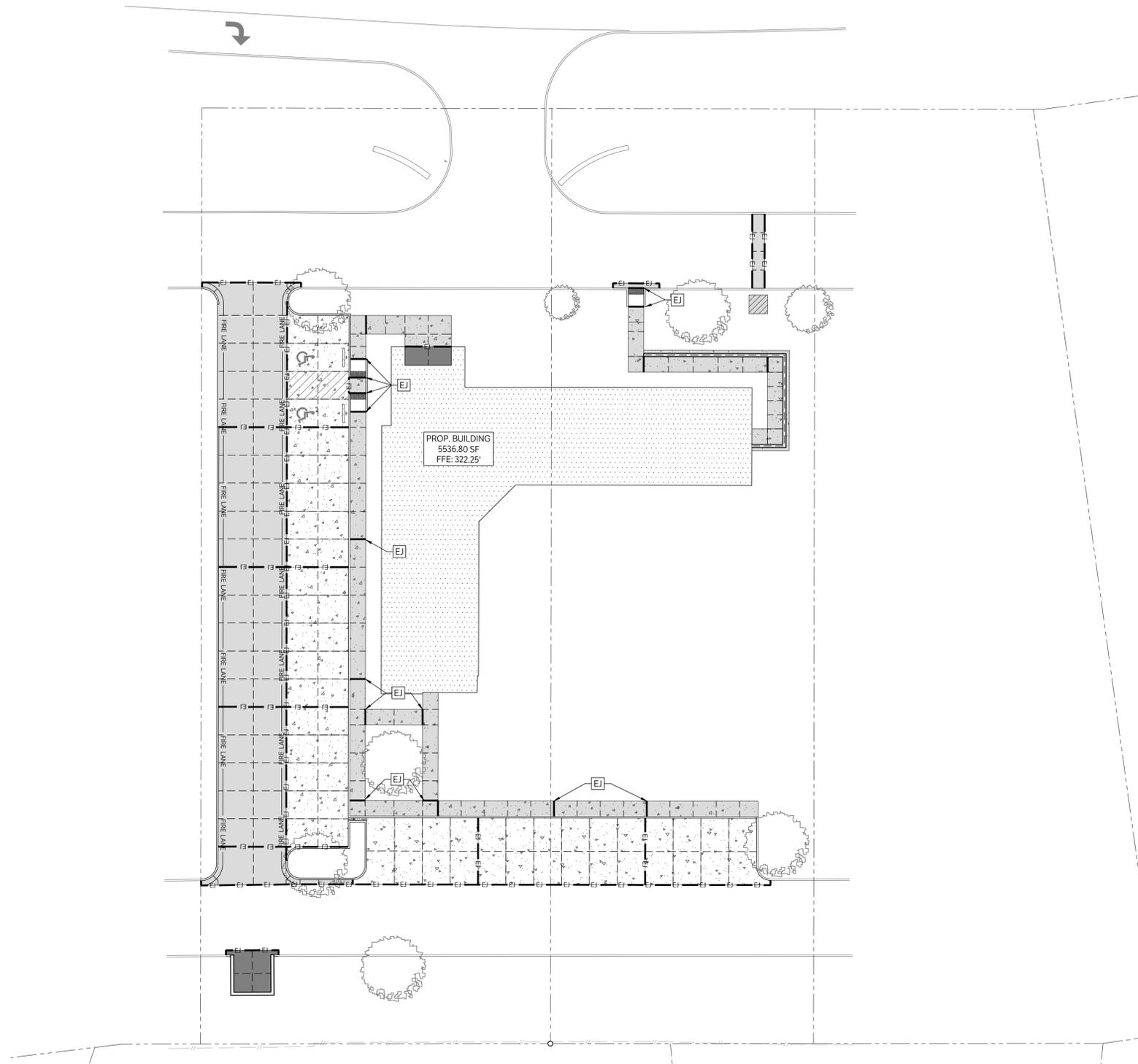
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N. EARL RUDDER FREEWAY



PROJECT BENCHMARK: ● BM

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TBM #3
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NORTHING = 10229700.87'
EASTING = 3552750.07'
ELEVATION = 317.37'

LEGEND	
	EXISTING PAVEMENT EDGE
	CONTROL JOINT
	EXPANSION JOINT
	FIRE LANE WITH RED STRIPES CONTAINING THE WORDING "FIRE LANE - NO PARKING - TOW AWAY", PAINTED IN 4" WHITE LETTERS
	PROPOSED 4" CONCRETE PAVEMENT
	PROPOSED 7" CONCRETE PAVEMENT
	PROPOSED 5" CONCRETE PAVEMENT
	PROPOSED BUILDING

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817 N EARL RUDDER FWY
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PAVING PLAN
ISSUE DATE: 03/20/2026
DRAWN BY: PG
CHECKED BY: CS
PROJECT #: 25-0568

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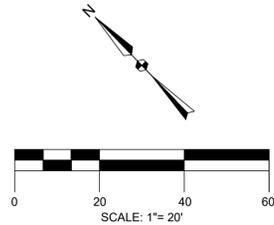
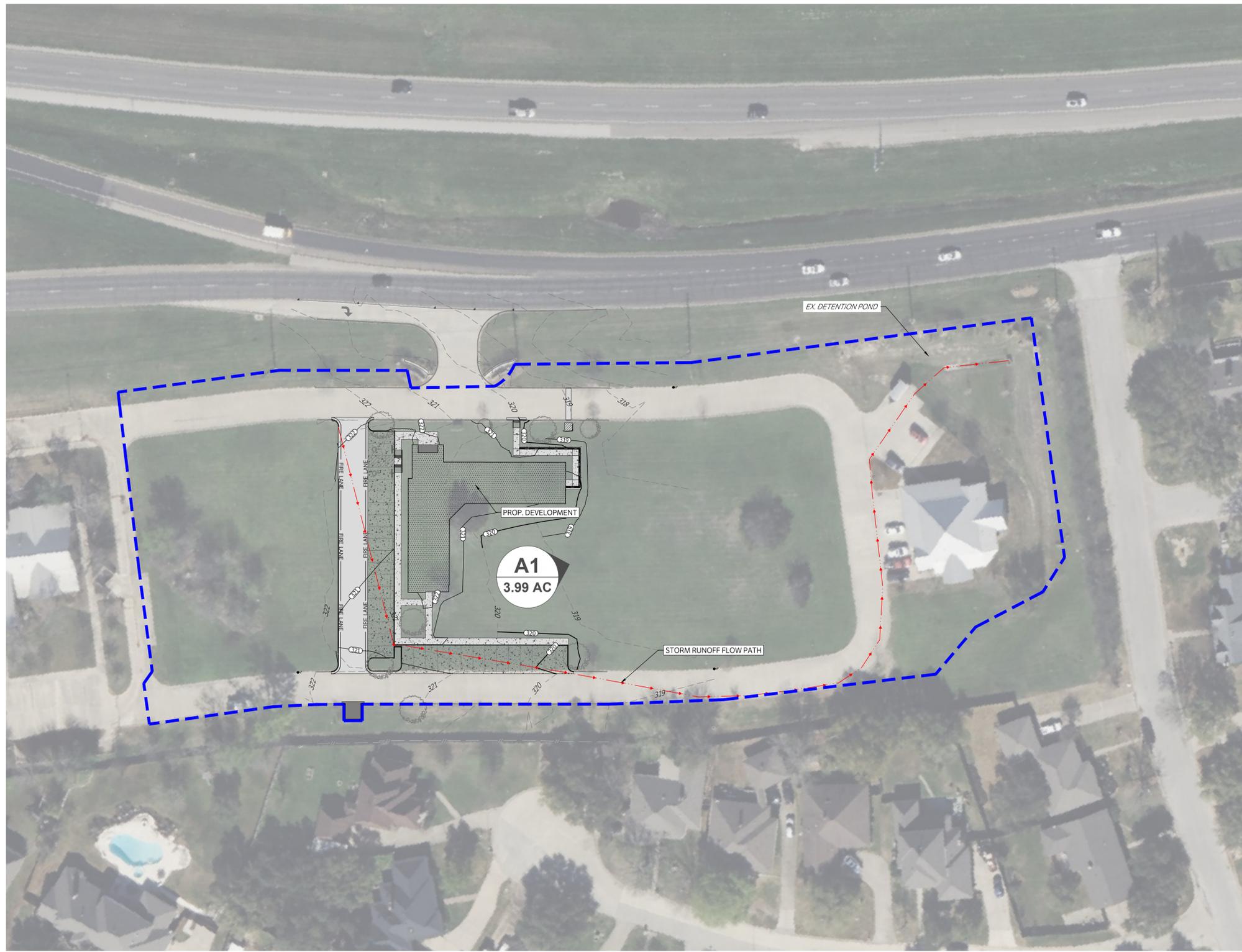


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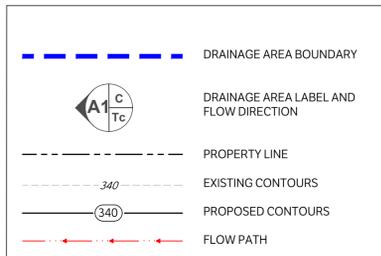


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NORTHING = 10229700.87'
EASTING = 3552750.07'
ELEVATION = 317.37'



NOTES:

1. THE EXISTING DETENTION POND WAS DESIGNED USING AN ANTICIPATED IMPERVIOUS COVER PERCENTAGE OF 57.9% FOR THE DRAINAGE AREA
2. REF. DRAINAGE AND DETENTION REPORT PREPARED FOR PENNER PLACE OFFICE PARK BY JONES AND CARTER, DATED FOR APRIL 2009
3. THE PREVIOUS DRAINAGE REPORT IS ASSUMED TO STILL BE VALID AND THAT THE EXISTING REGIONAL DETENTION POND IS ABLE TO RECEIVE THE ADDITION STORM FLOW FROM THE PROPOSED CONDITIONS.
4. EXISTING CONDITIONS FEATURE 24% OF THE DRAINAGE AREA AS IMPERVIOUS COVER, PROPOSED CONDITIONS WILL INCREASE THIS COVER TO 35%. STILL LOWER THAN THE ANTICIPATED COVER PERCENTAGE IN THE REPORT

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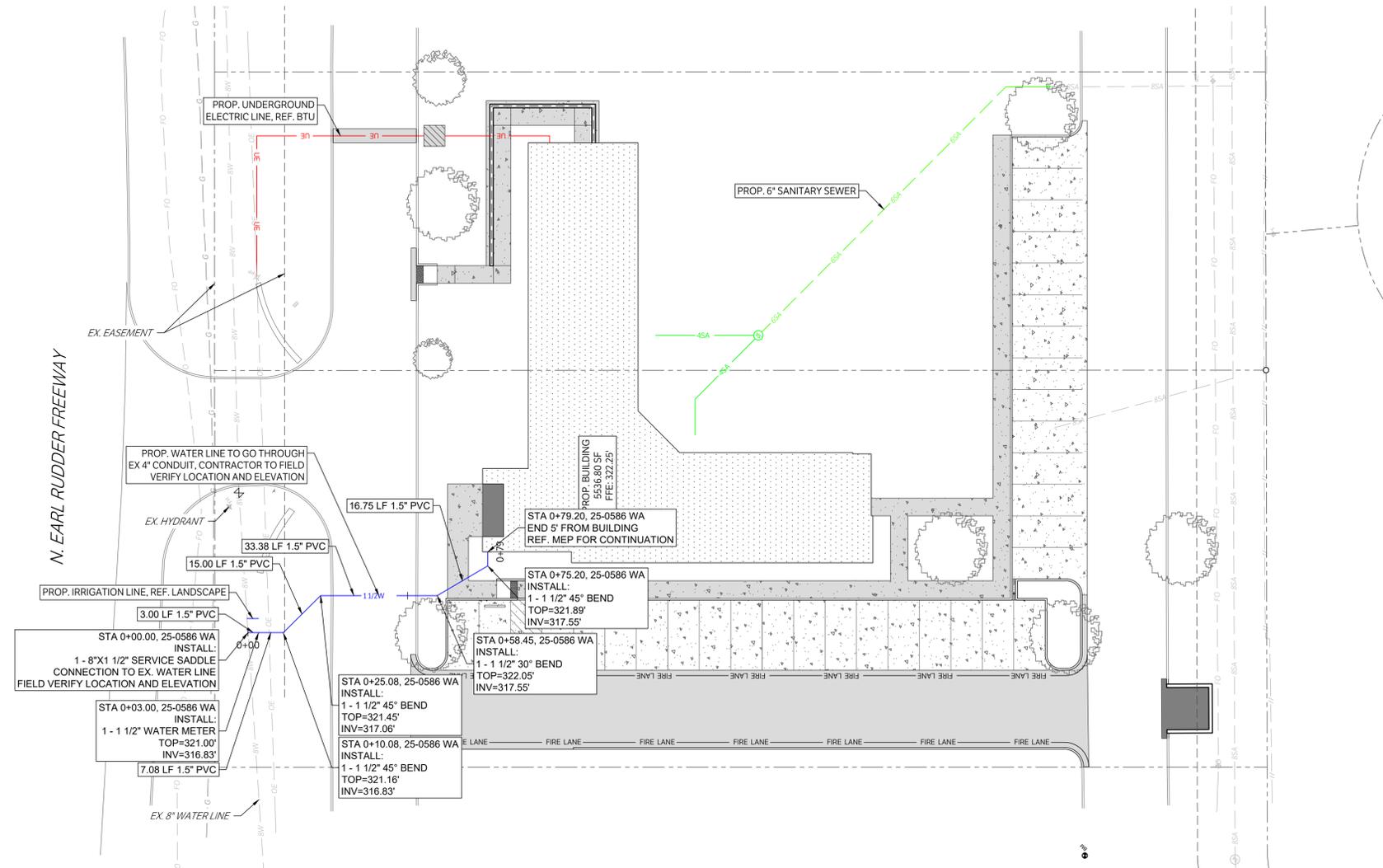
DRAINAGE AREA MAP

ISSUE DATE: 03/20/2026
DRAWN BY: PG
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PROJECT #: 25-0568

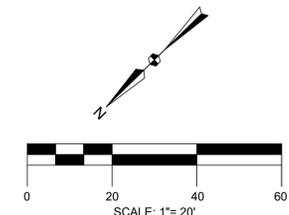
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REV.	DATE DESCRIPTION

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Drainage Cover Table			
	Impervious Cover (sf)	Pervious Cover (sf)	Percent Impervious
Existing Conditions	41,722.91	132,081.49	24.01%
Proposed Conditions	61,002.30	112,802.10	35.10%
Net Change	19,279.39	-19,279.39	11.09%



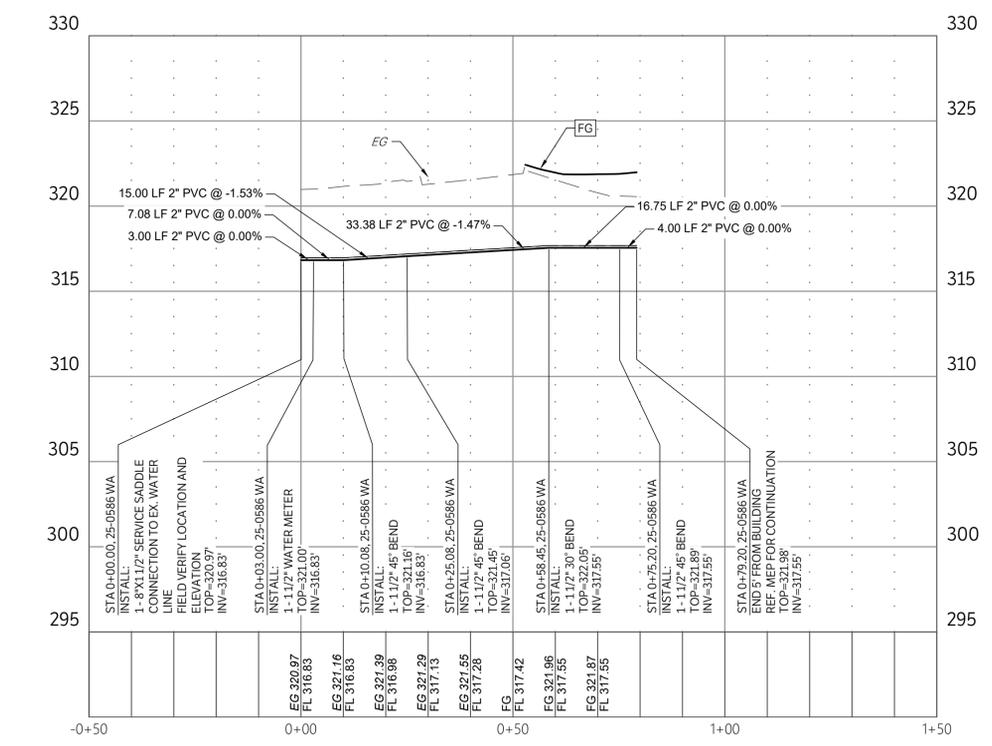
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LEGEND

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	PROPOSED BUILDING
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	EX. PROP. SANITARY SEWER CLEANOUT
	EX. PROP. LIGHT POLE
	PROPOSED PUBLIC ACCESS EASEMENT
	PROPOSED UTILITY EASEMENT



25-0586 WA
 SCALE: 1"=20' H, 1"=5' V

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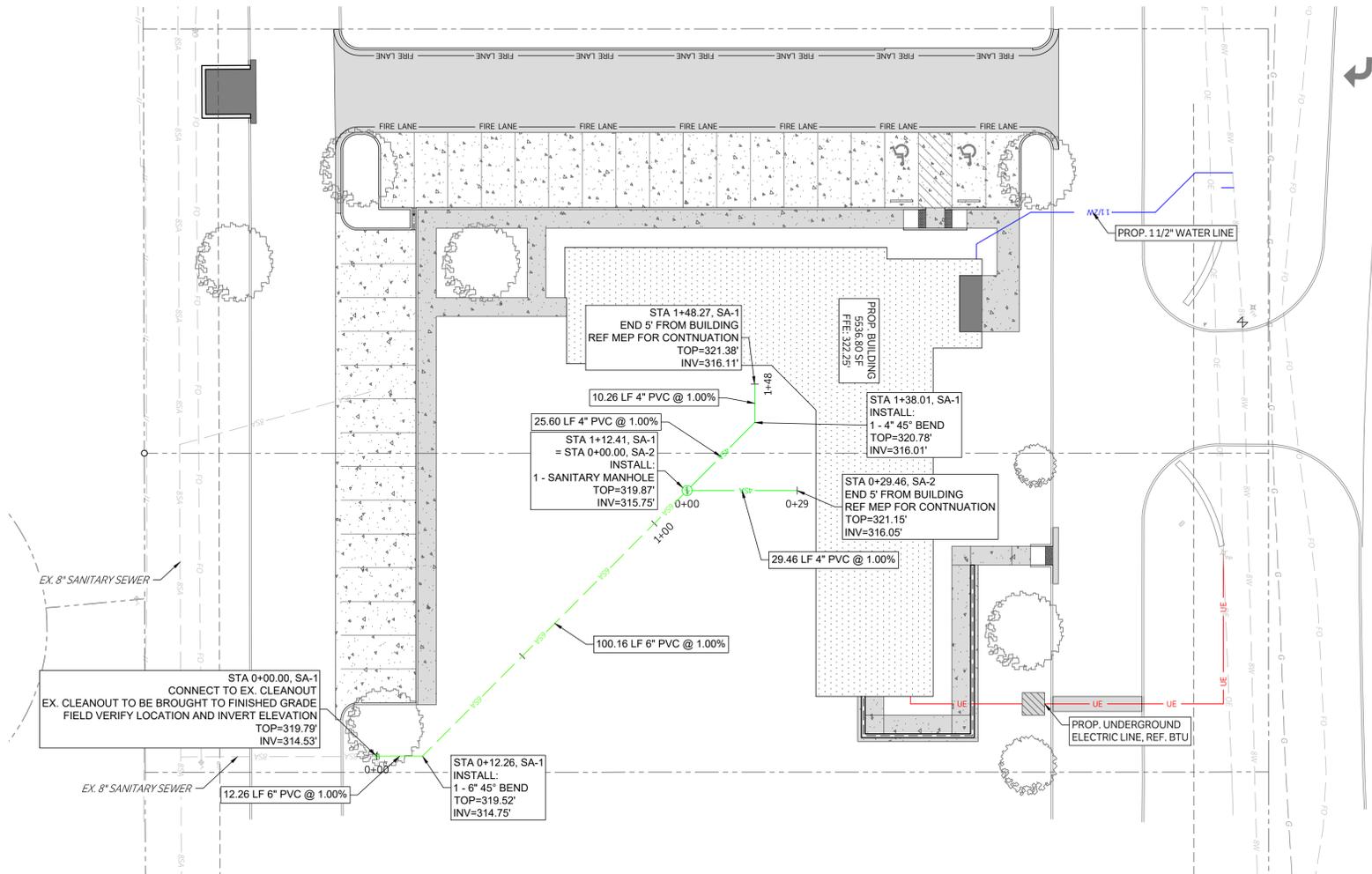
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 BRYAN TX, 77802

WATER PLAN
 ISSUE DATE: 03/20/2026
 DRAWN BY: PG
 CHECKED BY: CS
 PROJECT #: 25-0568

REVISIONS

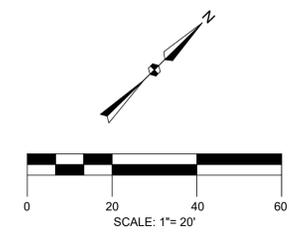
REV.	DATE	DESCRIPTION

C700



N. EARL RUDDER FREEWAY

CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



PROJECT BENCHMARK: ● BM
 TBM #1
 "X" IN SQUARE SET IN BACK OF CURB
 NORTHING = 10229744.95'
 EASTING = 3552395.35'
 ELEVATION = 326.82'
 TBM #2
 "X" IN SQUARE SET IN BACK OF CURB
 NORTHING = 10229526.59'
 EASTING = 3552623.87'
 ELEVATION = 319.13'
 TBM #3
 "X" IN SQUARE SET IN BACK OF CURB
 NORTHING = 10229700.87'
 EASTING = 3552750.07'
 ELEVATION = 317.37'



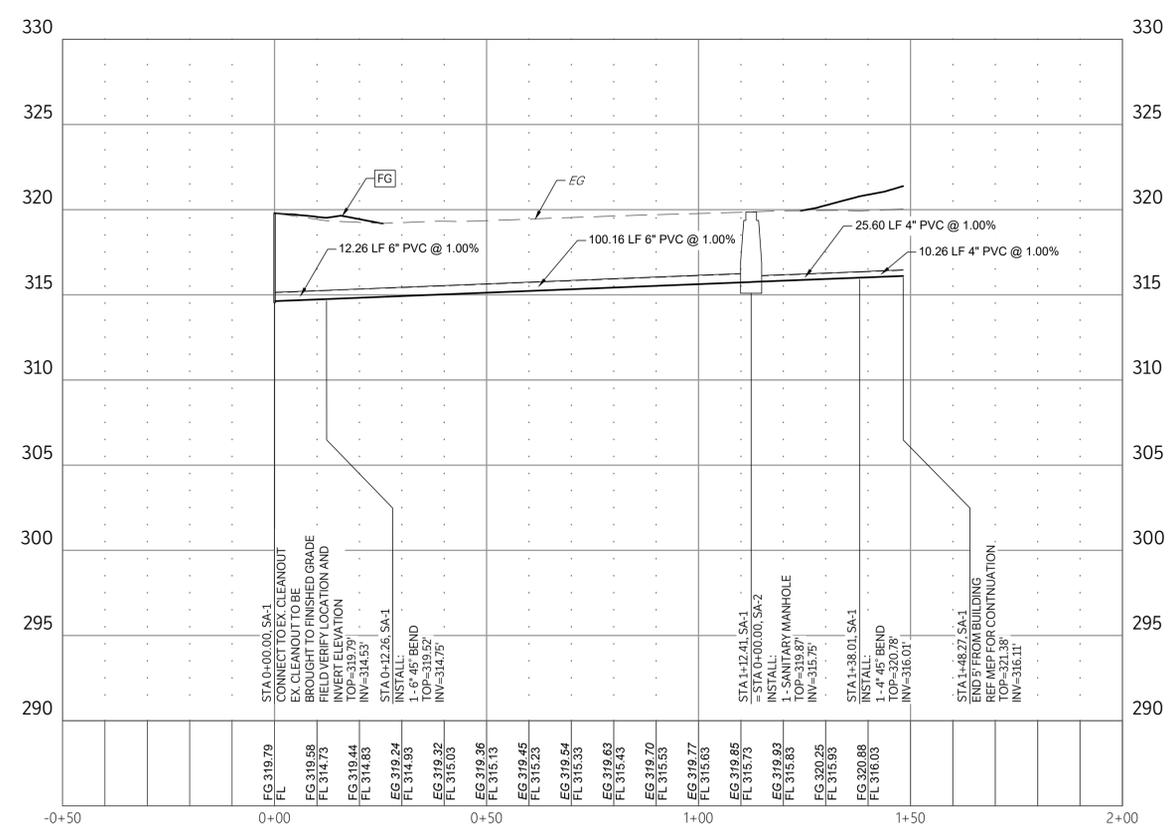
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LAND SURVEYING | STRUCTURAL

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401 W 26TH STREET
BRYAN, TEXAS 77803
1-877-GESSNER (437-7637)
www.gessnerengineering.com
FIRM REGISTRATION NUMBERS:
TBPE F-7451, TBPLS F-10193910

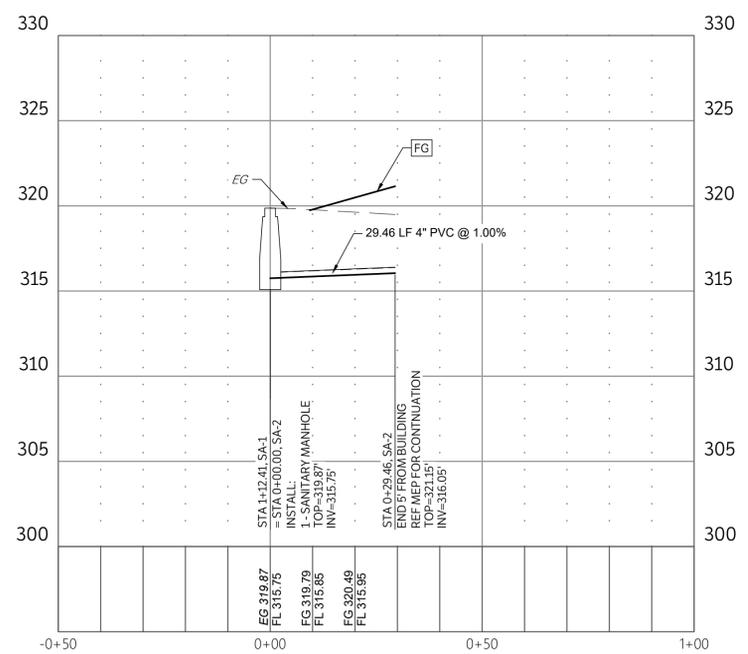


FOR PERMIT

LEGEND	
[Pattern]	PROPOSED 4" CONCRETE PAVEMENT
[Pattern]	PROPOSED 7" CONCRETE PAVEMENT
[Pattern]	PROPOSED 5" CONCRETE PAVEMENT
[Pattern]	PROPOSED BUILDING
[Pattern]	PROP. STRUCTURAL PAVEMENT, REF. STRUCTURAL
[Pattern]	PROP. TRANSFORMER PAD, REF. BTU
[Line]	EXISTING PAVEMENT EDGE
[Line]	PROPERTY LINE
[Line]	EXISTING EASEMENT
[Line]	PROPOSED EASEMENT
[Line]	EXISTING CONTOURS
[Line]	PROPOSED CONTOURS
[Line]	EX. PROP. WATER LINE
[Line]	EX. PROP. SANITARY SEWER LINE
[Line]	EX. PROP. GAS LINE
[Line]	EX. PROP. DATA/TELECOM
[Line]	EX. PROP. UNDERGROUND ELECTRIC
[Line]	EX. PROP. FIBER OPTIC
[Line]	EX. PROP. OVERHEAD ELECTRIC
[Symbol]	EX. PROP. FIRE HYDRANT
[Symbol]	EX. PROP. WATER METER
[Symbol]	EX. PROP. GATE VALVE
[Symbol]	EX. IRRIGATION CONTROL VALVE
[Line]	PROP. FIRE LANE
[Symbol]	EX. PROP. SANITARY SEWER MANHOLE
[Symbol]	EX. PROP. SANITARY SEWER CLEANOUT
[Symbol]	EX. PROP. LIGHT POLE
[Symbol]	PAE PROPOSED PUBLIC ACCESS EASEMENT
[Symbol]	PUE PROPOSED UTILITY EASEMENT



SA-1
SCALE: 1"=20' H, 1"=5' V



SA-2
SCALE: 1"=20' H, 1"=5' V

PRELIMINARY NOT FOR CONSTRUCTION

ROYCE PROPERTIES, LLC
817 N EARL RUDDER FWY
BRYAN TX, 77802

SANITARY PLAN
ISSUE DATE: 03/20/2026
DRAWN BY: PG
CHECKED BY: CS
PROJECT #: 25-0568

REVISIONS	
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REV.	DATE DESCRIPTION

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CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
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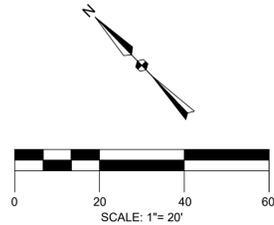


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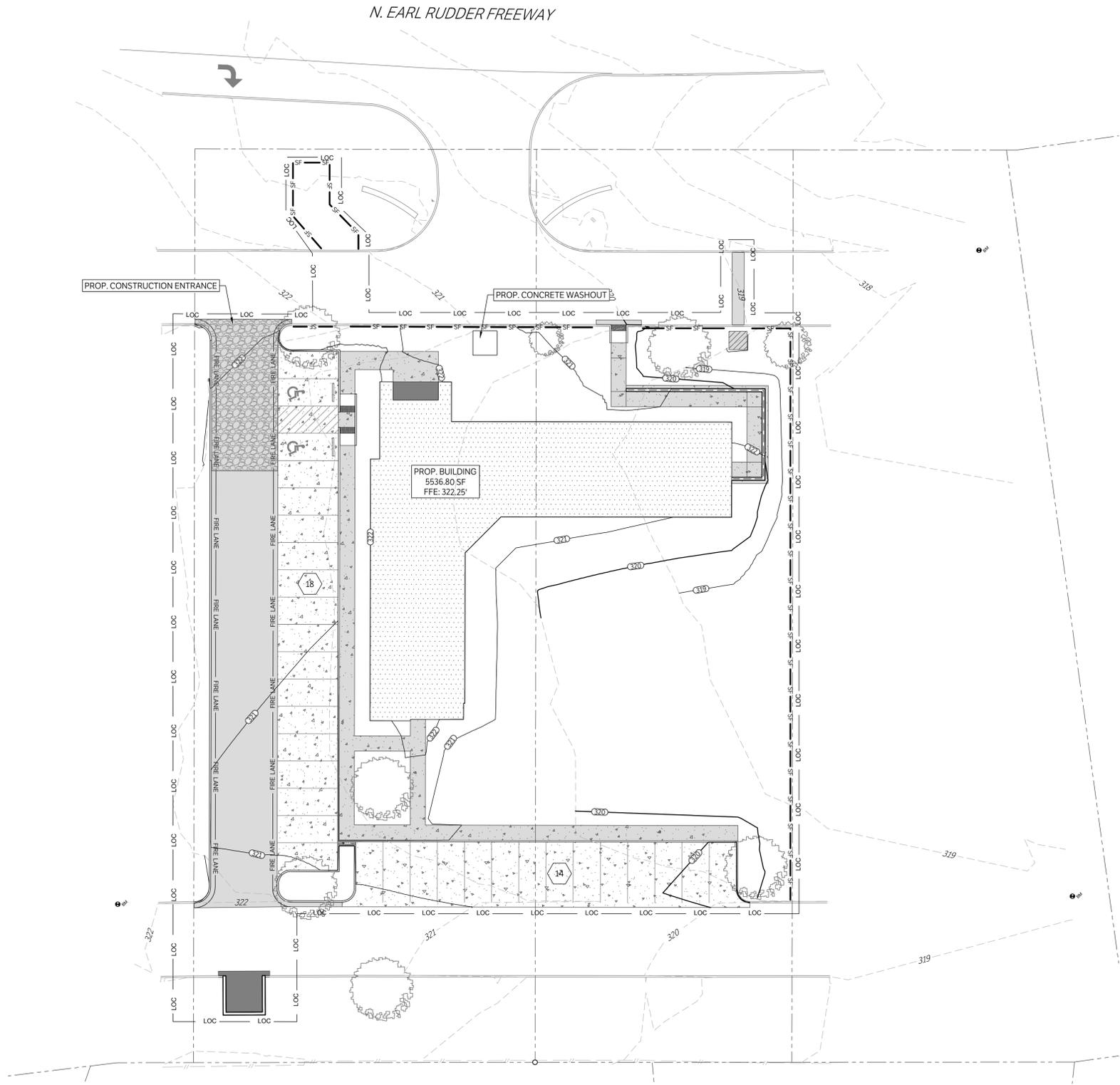
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EASTING = 3552750.07
ELEVATION = 317.37

	CONSTRUCTION ENTRANCE, INSTALLED PER DETAIL
	PROPERTY LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	SILT FENCE, INSTALLED PER DETAIL
	LIMITS OF CONSTRUCTION
	PROPOSED DAM EROSION CONTROL, LOG- 18"



PRELIMINARY NOT FOR CONSTRUCTION

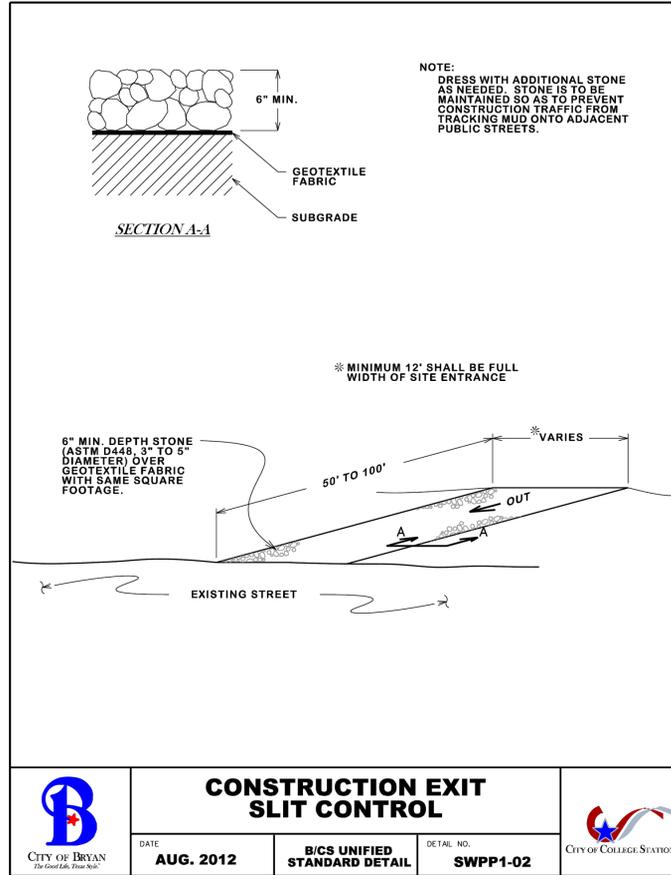
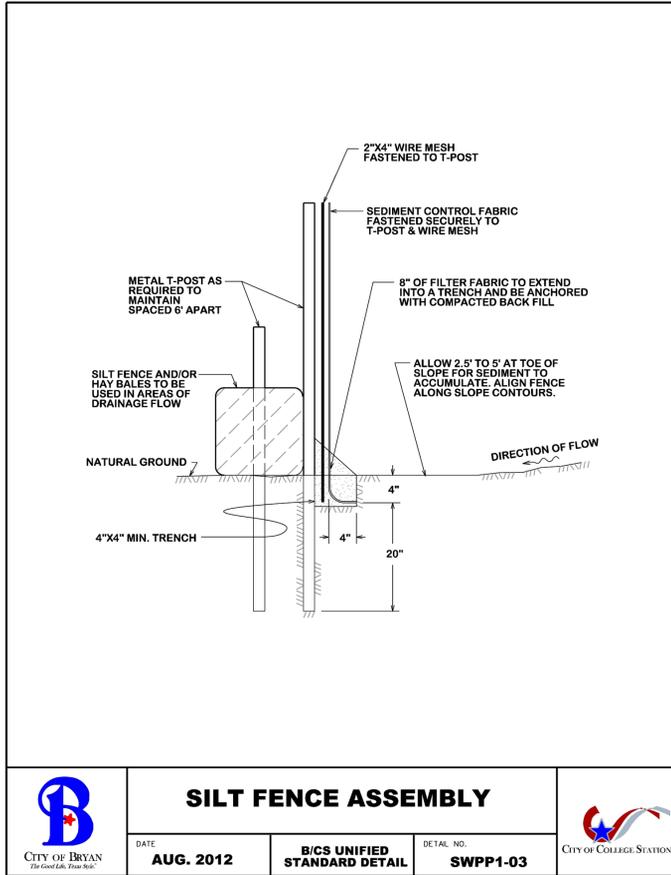
ROYCE PROPERTIES, LLC
817 N EARL RUDDER FWY
BRYAN TX, 77802

EROSION CONTROL PLAN

ISSUE DATE: 03/20/2026
DRAWN BY: PG
CHECKED BY: CS
PROJECT #: 25-0568

REV.	DATE	DESCRIPTION
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C900



EROSION CONTROL NOTES:
 OWNER INFORMATION: ROYCE PROPERTIES, LLC
 3840 CORPORATE CENTER DR
 COLLEGE STATION, TX 77802

PROJECT NAME: ROYCE PROPERTIES, LLC
 PROJECT LOCATION(S): 817 N EARL RUDDER FWY
 BRYAN, BRAZOS COUNTY, TEXAS

LATITUDE: 30D40'09.61" N
 LONGITUDE: 96D20'14.46" W
 TOTAL SITE AREA IS: 1.26 ACRES
 TOTAL AREA OF SITE EXPECTED TO BE DISTURBED: APPROXIMATELY 1 ACRE

EXISTING SITE CONDITIONS
 LAND USE: OPEN SPACE
 LAND COVER: PASTURE
 AVERAGE GROUND SLOPE: 1.7%
 RUNOFF COEFFICIENT, C: 0.41
 RECEIVING WATERS: CARTER'S CREEK
 SEGMENT NO. OF CLASSIFIED WATER BODY: 1209C
 BASIN NAME: NAVASOTA RIVER

SOIL INFORMATION
 1- 5% PERCENT SLOPES
 HYDROLOGIC SOIL GROUP: D

POST DEVELOPED SITE CONDITIONS
 LAND USE: COMMERCIAL OFFICE BUILDING
 PRIMARY STANDARD INDUSTRIAL CLASSIFICATION CODE (SIC): 8711
 AVERAGE GROUND SLOPE PARKING LOT: 0.6%
 RUNOFF COEFFICIENT, C: 0.78

NATURE OF ACTIVITIES
 CLEARING OF ANY EXISTING TREES & BRUSH; STRIPPING OF TOPSOIL; SITE CUT/FILL OPERATIONS, CONSTRUCTION OF 0.14 ACRES OF PARKING PAVEMENT, 0.10 ACRES OF DRIVE PAVEMENT, 2,365 SF OF SIDEWALK, 5,537 SF OF OFFICE BUILDING, UTILITIES, REPLACEMENT OF TOPSOIL & REVEGETATION.

- SEQUENCE OF MAJOR ACTIVITIES**
1. INSTALL SILT FENCE AT LIMITS OF CONSTRUCTION & STOCK PILE AREAS
 2. INSTALL ROCK CONSTRUCTION ENTRANCE
 3. INSTALL GRAVEL FILTER BAGS AROUND EXISTING INLETS
 4. CLEAR SITE
 5. INSTALL SITE IMPROVEMENTS
 6. AFTER ESTABLISHMENT OF GRASS, REMOVE ALL TEMPORARY EROSION CONTROL (SILT-FENCE);
 7. SEED ALL AREAS NOT HAVING PERMANENT GRASS COVERAGE AS DEFINED.

- GENERAL EROSION CONTROL NOTES**
1. ALL UTILITIES AND SERVICE LINES SHOWN ARE TAKEN FROM RECORD INFORMATION SUPPLIED BY THE UTILITY OWNER OR HORIZONTALLY LOCATED BY INDEPENDENT LOCATORS. CONTRACTOR IS RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN PLAN AND ACTUAL CONDITIONS PRIOR TO CONSTRUCTION. OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF INFORMATION OR DATA RELIED ON TO DEPICT UNDERGROUND FACILITIES.
 2. CONTRACTOR IS TO CONTACT TEXAS 811 AND OWNERS OF ALL UTILITIES AND SERVICE LINES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FACILITY OWNERS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION AND VERTICAL POSITIONING OF ALL PIPELINES, EXISTING UTILITIES, AND SERVICE LINES WITHIN THE PROJECT AREA WHETHER SHOWN ON THE PLANS OR NOT, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 3. CONTRACTOR IS TO MAINTAIN STRUCTURAL INTEGRITY OF ALL PIPELINES, ELECTRIC TRANSMISSION POLES AND LINES, PERMANENT AND TEMPORARY UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITY FACILITIES, PAVEMENT, ETC. AS A RESULT OF CLEARING/DIRTWORK ACTIVITIES.
 4. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.
 5. ALL DISTURBED AREAS NOT TO BE PAVED ARE TO HAVE ESTABLISHMENT OF GRASS AS OUTLINED IN THE DESCRIPTION OF CONTROLS, STABILIZATION PRACTICES NOTES.
 6. ALL SWALE AREAS (BOTTOM WIDTHS & SIDE SLOPES) ARE TO BE PREPARED AND HYDROMULCHED FOR PERMANENT ESTABLISHMENT OF VEGETATION. PRIOR TO HYDROMULCHING OPERATIONS, CONTRACTOR TO REPLACE TOPSOIL TO A DEPTH OF 6". TOPSOIL IS TO BE DISKED TO A DEPTH OF AT LEAST 4" AND LIGHTLY COMPACTED. FINAL GRADES WITH ESTABLISHED VEGETATION SHALL BE AS CALLED OUT ON THE GRADING PLAN.
 7. CONTRACTOR IS TO MAINTAIN EROSION CONTROL AT ALL LOCATIONS OF CONSTRUCTION, THROUGHOUT DURATION OF THE PROJECT AND UNTIL VEGETATION IS ESTABLISHED. INSURE SEDIMENT IS NOT TRANSPORTED DOWNSTREAM FROM PROJECT VIA GRAVEL FILTER BAGS AND SILT FENCE INSTALLATIONS. IF EXCESSIVE EROSION IS OBSERVED IN THE FIELD, ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED.
 8. CONTRACTOR SHALL NOT ALLOW SEDIMENT TO ENTER THE DOWNSTREAM CHANNEL. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING OF THE DOWNSTREAM CHANNEL AREAS AND RESTORING TO ORIGINAL CONDITION, INCLUDING ESTABLISHMENT OF REVEGETATION SHOULD CONSTRUCTION SEDIMENT BE FOUND OUTSIDE THE LIMITS OF CONSTRUCTION.
 9. THE CONTRACTOR WILL REMOVE ALL EXCESS SOIL FROM CONSTRUCTION VEHICLES PRIOR TO EXITING THE SITE.
 10. THE CONTRACTOR SHALL UNDERTAKE PROPER METHODS TO REDUCE DUST GENERATION FROM THE SITE.
 11. THE CONTRACTOR MUST COMPLY WITH FEDERAL, STATE, AND LOCAL REGULATIONS REGARDING SEDIMENTS AND EROSION CONTROL.
 12. A COPY OF THIS PLAN MUST BE KEPT AT THE CONSTRUCTION FACILITY DURING THE ENTIRE CONSTRUCTION PERIOD.
 13. ALL FINISHED GRADES ARE TO BE HYDRO-MULCHED, SPOT SODDED OR SEEDED AND WATERED UNTIL GROWTH IS ESTABLISHED.

SILT FENCE ASSEMBLY

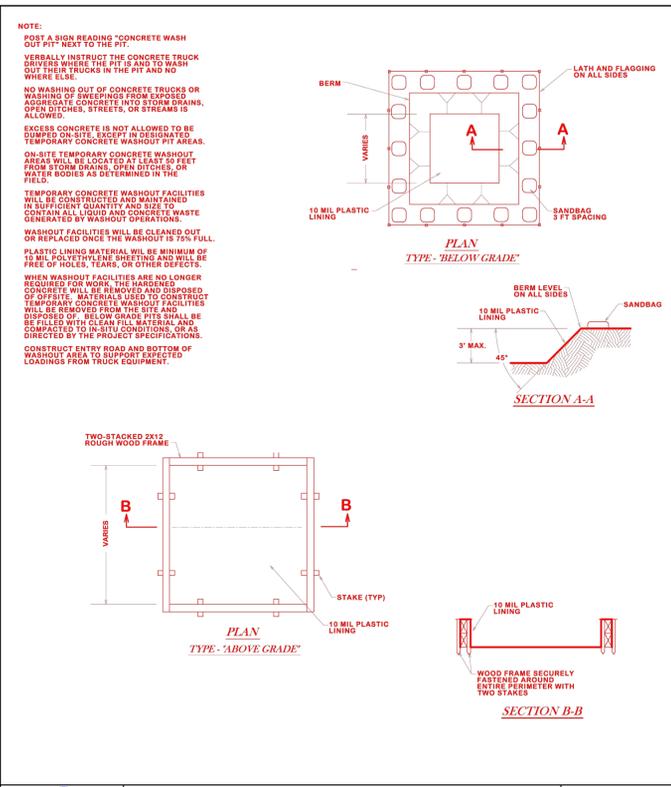
DATE: **AUG. 2012** B/C'S UNIFIED STANDARD DETAIL: **SWPP1-03**

CITY OF BRYAN CITY OF COLLEGE STATION

CONSTRUCTION EXIT SLIT CONTROL

DATE: **AUG. 2012** B/C'S UNIFIED STANDARD DETAIL: **SWPP1-02**

CITY OF BRYAN CITY OF COLLEGE STATION



CONCRETE WASHOUT

DATE: **DECEMBER 2020** B/C'S UNIFIED STANDARD DETAIL: **SWPP1-04**

CITY OF BRYAN CITY OF COLLEGE STATION



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FOR PERMIT

ROYCE PROPERTIES, LLC
 817 N EARL RUDDER FWY
 BRYAN TX, 77802

EROSION CONTROL DETAILS

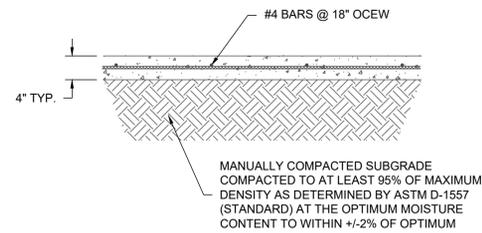
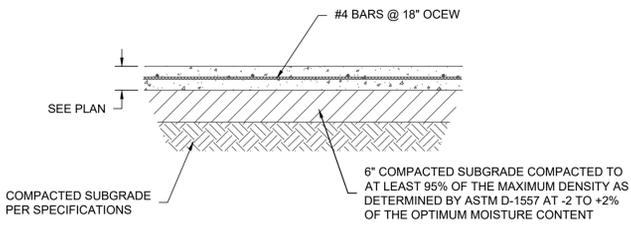
ISSUE DATE: 03/20/2026
 DRAWN BY: PG
 CHECKED BY: CS
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REVISIONS

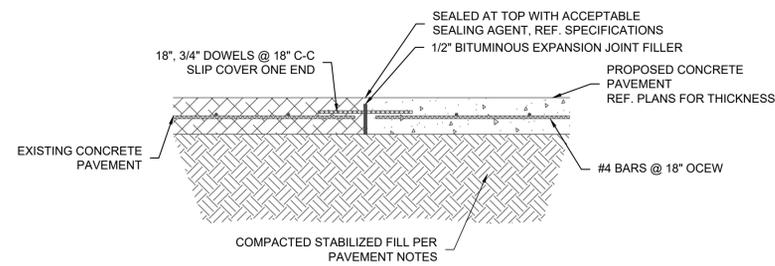
REV.	DATE	DESCRIPTION

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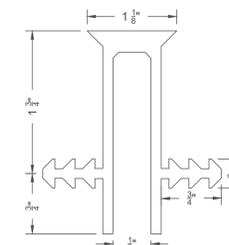


SIDEWALK SECTION
NTS



- NOTE:**
- SEE PLANS FOR THICKNESS OF EXISTING AND PROPOSED CONCRETE PAVEMENT
 - CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI

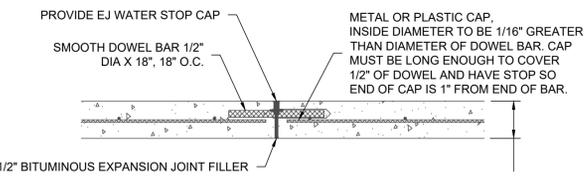
EXISTING CONCRETE TIE-IN
NTS



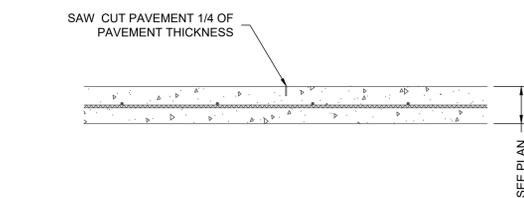
- NOTE:**
- WATERSTOP SHALL BE G-SEAL BY GREENSTREAK, INC. EARTHSHIELD BY JP SPECIALTIES, INC. EB-CAP WATERSTOP BY WESTEC, OR APPROVED EQUAL

EXPANSION JOINT WATER STOP CAP (2 SIDED)
NTS

CONCRETE PAVEMENT
NTS

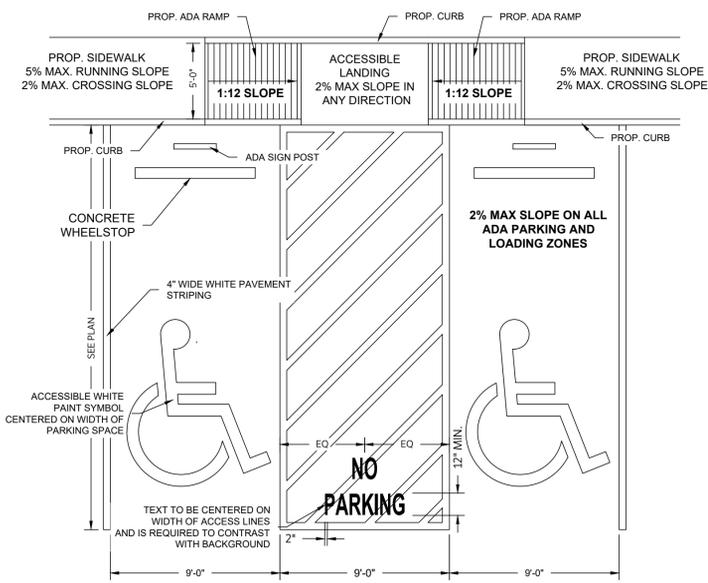


EXPANSION JOINT
NTS

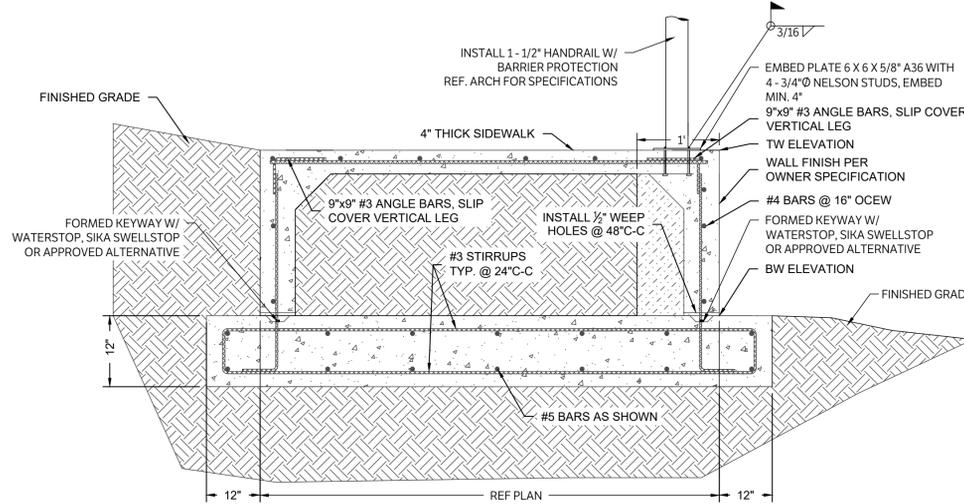


- NOTES:**
- SAW CUT OPERATIONS SHALL BEGIN AS SOON AS POSSIBLE AFTER CONCRETE PLACEMENT.
 - SEAL ALL JOINTS WITH SELF-LEVELING JOINT SEALANT MATERIAL PER SPECIFICATIONS.

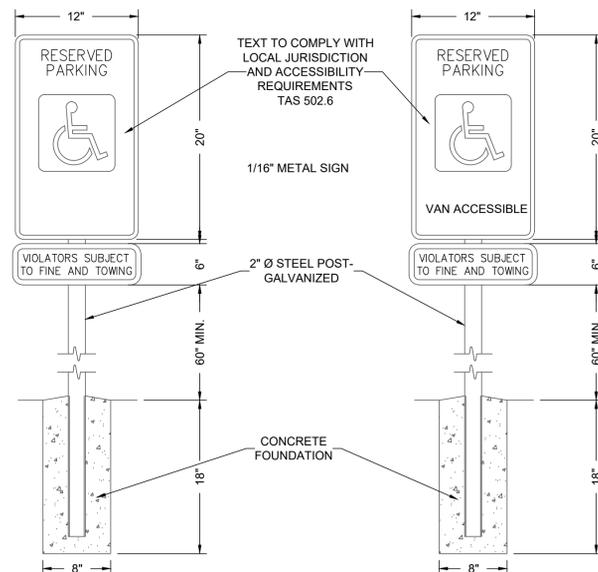
CONTROL JOINT
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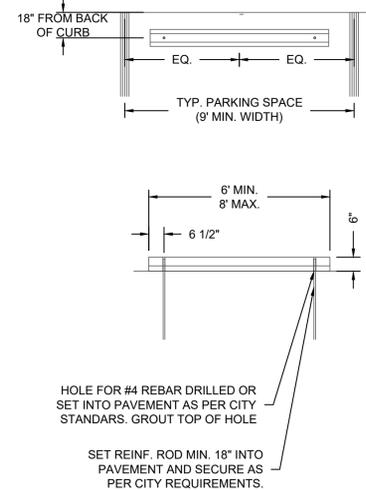
PROP ADA PARKING SPACES
NTS



CONCRETE WALL
NTS



ADA PARKING SIGN
NTS



TYP. WHEEL STOP
NTS

GENERAL NOTES:

ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEED OR SODED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

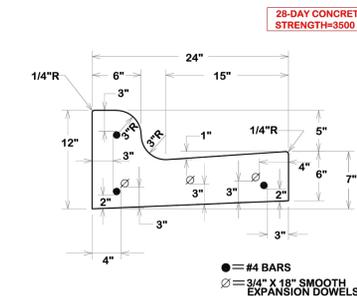
ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.

ALL TRAFFIC SIGNALS AND APPURTENANCES, AND ALL PAVEMENT MARKINGS AND MARKERS SHALL BE IN ACCORDANCE WITH TxDOT STANDARDS

REFER TO SPEC 31 17 23.23 (PAVEMENT MARKINGS) FOR ADDITIONAL LOCAL REQUIREMENTS.

NOTE:

TYPE "G" EXPANSION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 40' APART AND AT ALL RADIUS POINTS, P.T.'S AND P.C.'S, TYPE "B" CONTRACTION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10' APART.



TYPICAL COMBINED CURBS & GUTTER SECTION

DATE: **FEB. 2021**

B/C'S UNIFIED STANDARD DETAIL

DETAIL NO. **ST1-01**



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FOR PERMIT

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817 N EARL RUDDER FWY
BRYAN TX, 77802

CIVIL DETAILS

ISSUE DATE: 03/20/2026

DRAWN BY: PG

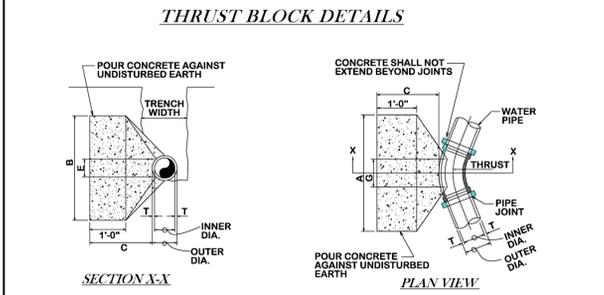
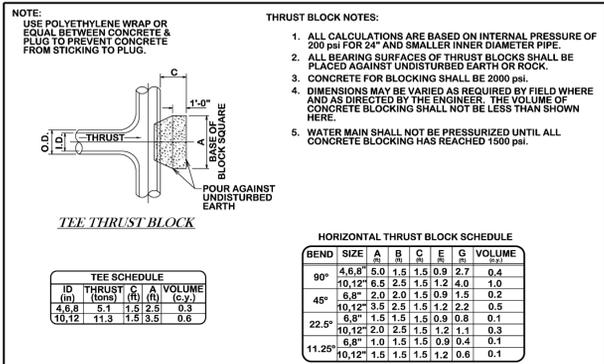
CHECKED BY: CS

PROJECT #: 25-0568

REVISIONS	
REV.	DESCRIPTION

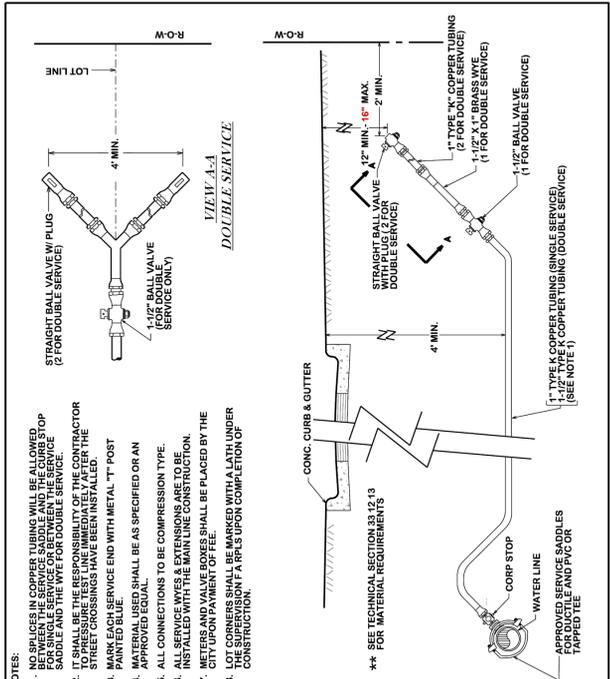
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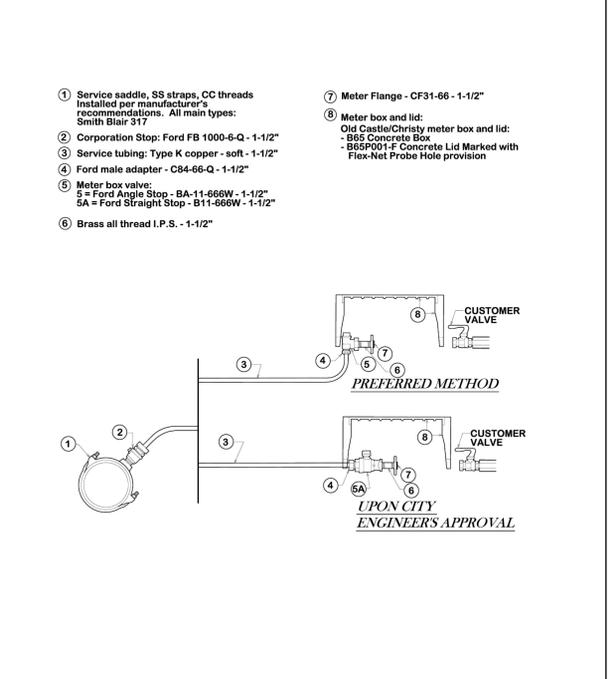
TYPICAL HORIZONTAL THRUST BLOCK

DATE: **SEPT 2025** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **W2-00**



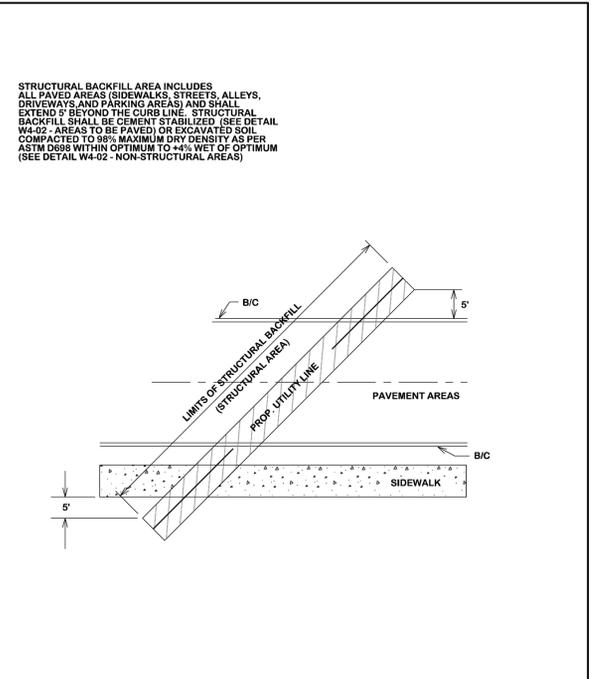
CITY OF BRYAN STRAIGHT OR ANGLE TAP 1 1/2"

DATE: **FEB 2021** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **W6-02**



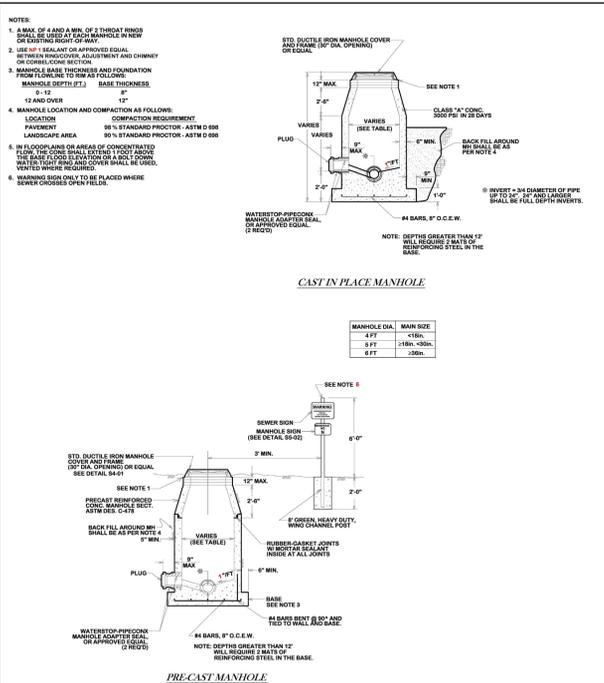
STANDARD CLEAN OUT FOR MAIN LINE

DATE: **DEC 2020** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **S5-01**



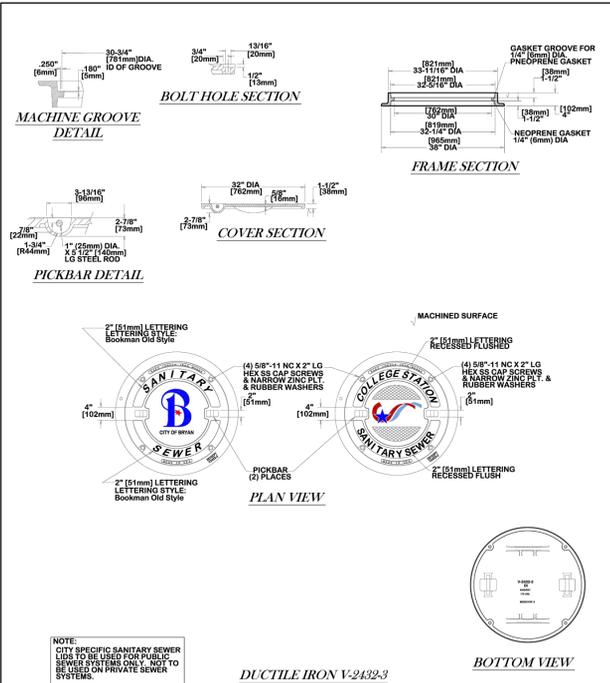
BEDDING AND TRENCH FOR DI PIPE & PVC PIPE WITHIN NON-STRUCTURAL OR NEW PAVED AREAS

DATE: **APR 2024** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **W4-02**



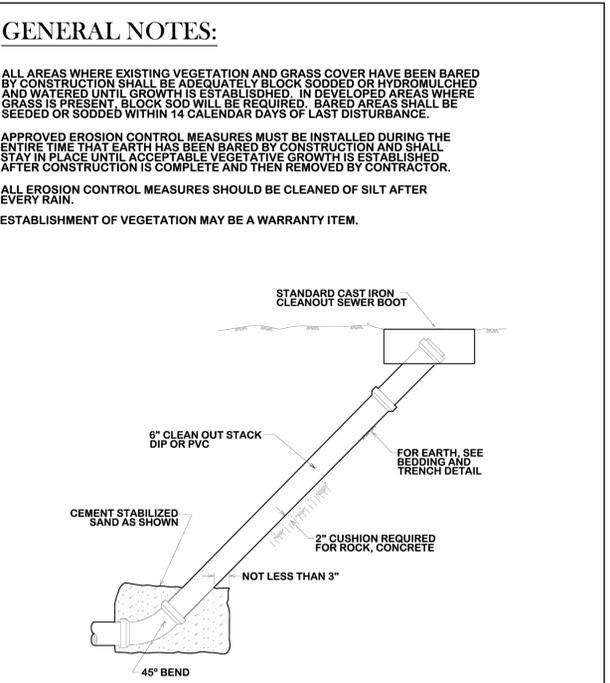
STANDARD MANHOLE

DATE: **APR 2024** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **S1-00**



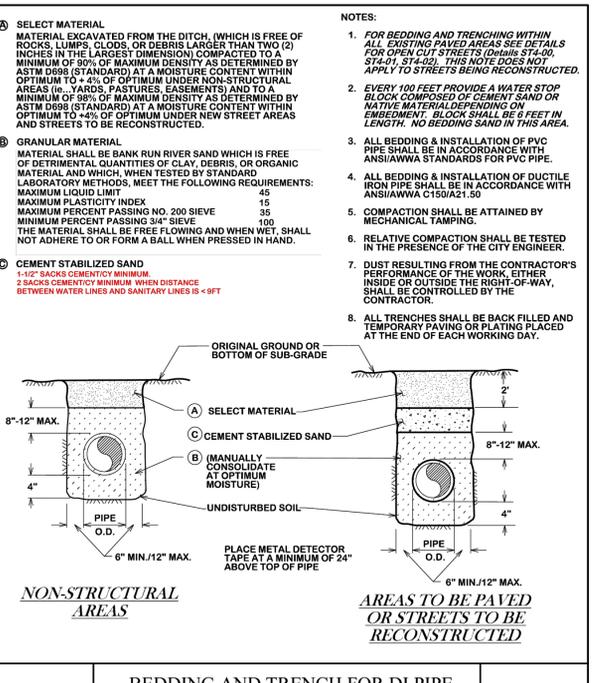
STANDARD CLEAN OUT FOR MAIN LINE

DATE: **DEC 2020** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **S5-01**



BEDDING AND TRENCH FOR DI PIPE & PVC PIPE WITHIN NON-STRUCTURAL OR NEW PAVED AREAS

DATE: **APR 2024** | B/C'S UNIFIED STANDARD DETAIL | DETAIL NO. **W4-02**



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FOR PERMIT

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